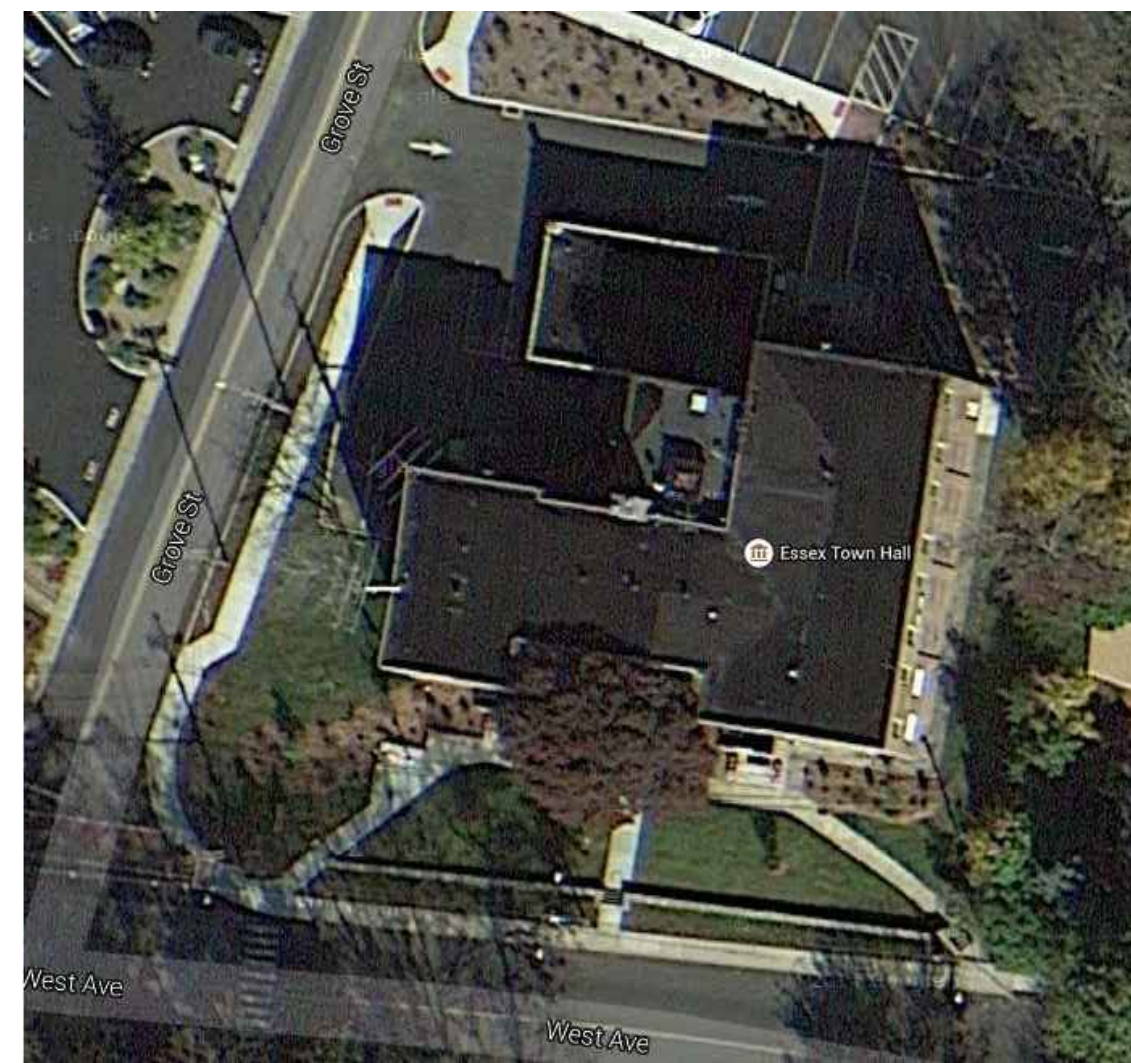


ROOF REPLACEMENT FOR ESSEX TOWN HALL AND TOWN GARAGE

29 WEST AVENUE – ESSEX, CT

29 WEST AVENUE – ESSEX, CT

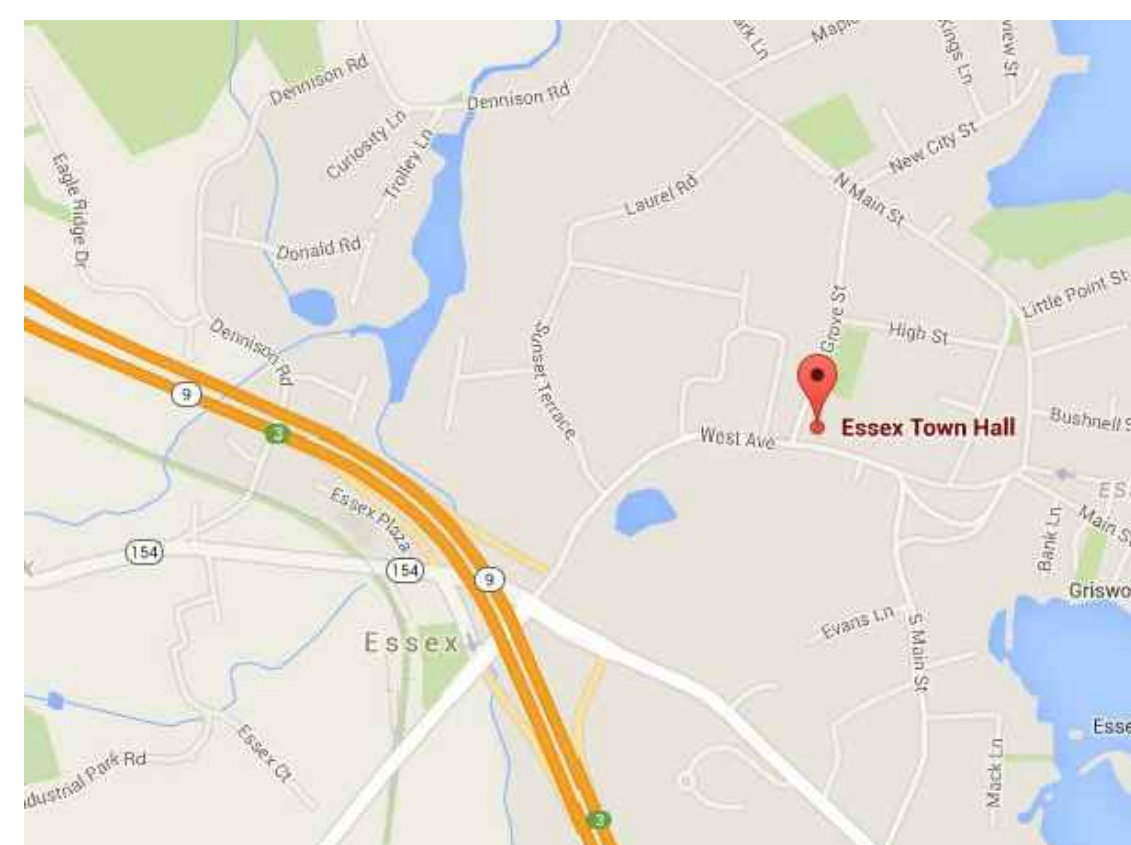
AERIAL MAP TOWN HALL



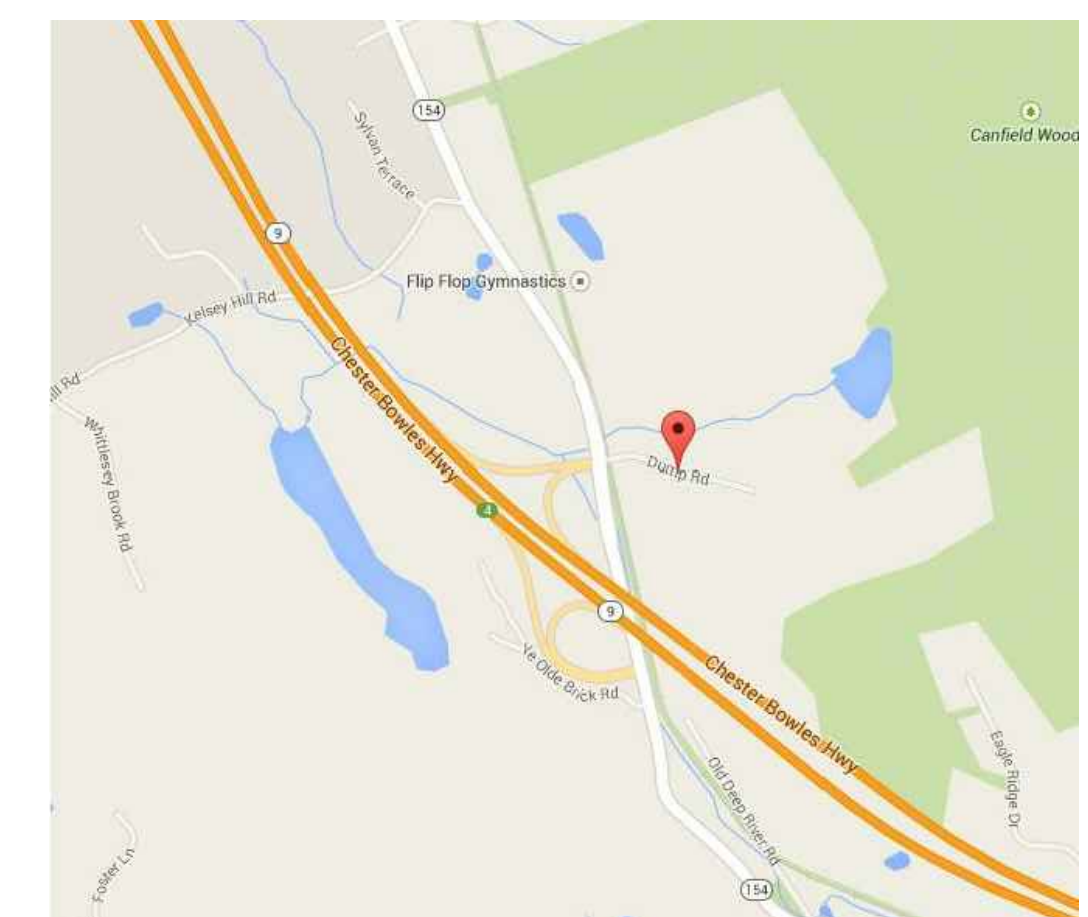
AERIAL MAP TOWN GARAGE



LOCATION MAP TOWN HALL



LOCATION MAP TOWN GARAGE



PREPARED BY

HIBBARD & ROSA ARCHITECTS, L.L.C.

363 MAIN STREET

MIDDLETOWN, CONNECTICUT 06457

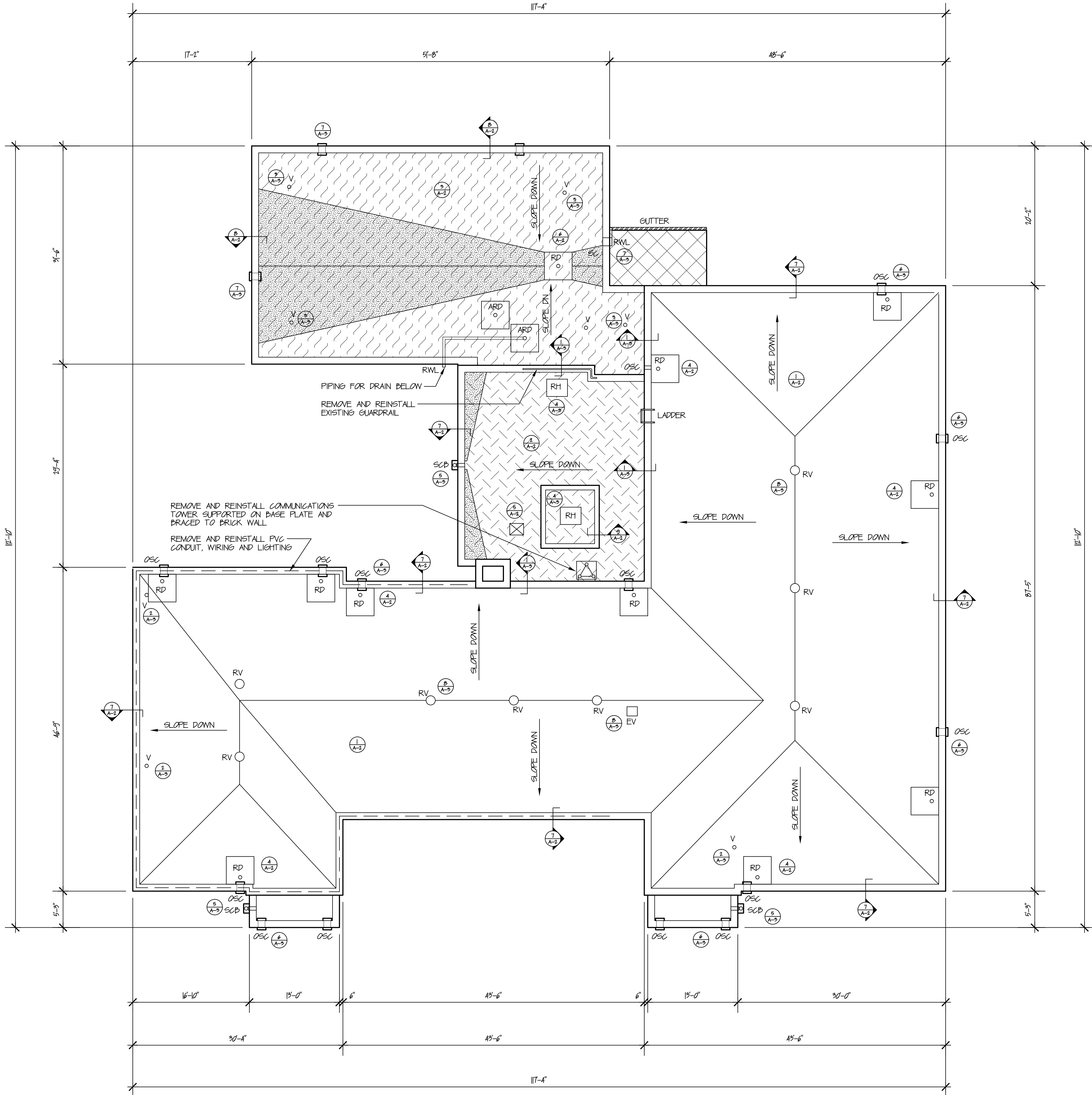
(860) 346-1809

LIST OF DRAWINGS

	TITLE SHEET
A-1	ROOF PLAN TOWN HALL
A-2	ROOF DETAILS TOWN HALL
A-3	ROOF DETAILS TOWN HALL
A-4	ROOF PLAN AND DETAILS TOWN GARAGE

JUNE 08, 2015

COMM. NO. 1517



1 ROOF PLAN
1/8" = 1'-0"

LEGEND - ROOF

- TPA MEMBRANE SET IN ADHESIVE ON GLASS REINFORCED GYPSUM BOARD SET IN ADHESIVE ON FLAT STOCK INSULATION MECHANICALLY FASTENED TO WOOD DECK.
- TPA MEMBRANE SET IN ADHESIVE ON GLASS REINFORCED GYPSUM BOARD SET IN ADHESIVE ON 1/4" PER FT. TAPERED INSULATION SET IN ADHESIVE ON FLAT STOCK INSULATION MECHANICALLY FASTENED TO METAL DECK.
- TPA MEMBRANE SET IN ADHESIVE ON GLASS REINFORCED GYPSUM BOARD SET IN ADHESIVE ON 1/4" PER FT. TAPERED INSULATION SET IN ADHESIVE ON FLAT STOCK INSULATION SET IN ADHESIVE ON VAPOR BARRIER ON CONCRETE DECK.
- NOT IN CONTRACT (NIC)
- CRICKET (SLOPE: 1" PER FT)
- SECTION MARK
- DETAIL BUTT
- EXISTING ROOF DRAIN TO BE REMOVED. INSTALL NEW ROOF DRAIN ASSEMBLY.
- NEW ROOF DRAIN ASSEMBLY TO BE INSTALLED.
- OVERFLOW ROOF DRAIN
- ABANDONED ROOF DRAIN
- OVERFLOW SCUPPER
- PRIMARY SCUPPER W/ RWL
- MECHANICAL UNIT
- PLUMBING VENT
- PITCH POCKET
- ROOF VENT
- ROOF HATCH
- EXISTING ANTENNA ON WOOD BASE AND STEEL DUNNAGE. DUCTWORK

GENERAL NOTES - ROOF

- CONTRACTOR SHALL TAKE AND VERIFY ALL DIMENSIONS IN THE FIELD, AND SHALL BE HELD RESPONSIBLE FOR THE SAME.
- CONTRACTOR SHALL TAKE AND VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO BEGINNING ANY WORK AND NOTIFY OWNER OF ANY DISCREPANCIES.
- CONTRACTOR SHOULD FULLY UNDERSTAND THAT THE WORK INCLUDES THE USE OF A MANUFACTURER'S CERTIFIED/APPROVED INSTALLERS IN ORDER TO OBTAIN LONG TERM MANUFACTURER'S GUARANTEE.
- THE DIVISION OF WORK AMONG THE VARIOUS TRADES OR SUBCONTRACTORS (IF ANY) NECESSARY AND THE COORDINATING OF THE TOTAL WORK IS THE CONTRACTOR'S RESPONSIBILITY.
- THE CONTRACTOR SHALL CONFINE MOVEMENTS ON THE OWNERS PROPERTY TO AREAS DESIGNATED ON THE SITE PLAN AND AS DESIGNATED AT THE PRE-CONSTRUCTION.
- FASTENERS ARE MECHANICAL FASTENERS OR AS INDICATED FASTENERS USED IN THE WORK ARE TO PROVIDE 1 1/2" PENETRATION INTO THE SUBSTRATE OR AS REQUIRED BY THE FASTENER MANUFACTURER.
- FLASHINGS ARE TO BE INSTALLED IN A WATER-SHEPPING FASHION.
- PROVIDE PROPER TYPE CAULKING/SEALANT IN ALL AREAS INDICATED ON DRAWINGS AND AS REQUIRED FOR A WATERTIGHT ROOF.
- WHERE THE WORD "EXISTING" APPEARS WITH DESCRIPTIONS, NOTATIONS, DIRECTIVES, EXPLANATIONS, REQUIREMENTS, ETC., THROUGH OUT THE DRAWINGS AND SPECIFICATIONS, SUCH AS "EXISTING METAL DECK", "EXISTING BRICK WALL", THE REFERRED TO ITEM OR ITEMS OF WORK SHALL BE UNDERSTOOD AS MEANING WORK TO:
 - REMAIN IN PLACE WITHOUT MAJOR CHANGES, BUT, SHALL INCLUDE ALL OTHER CHANGES, ADJUSTMENTS, REQUIREMENTS, ETC., NECESSARY FOR THE ITEMS OF WORK TO BE PROPERLY INTEGRATED INTO AND COMBINED WITH THE NEW AND EXISTING SPECIFIED WORK IN THE CONTRACT, OR
 - REMOVED, DISPOSED OF AND/OR REINSTALLED, INCLUDING ALL CHANGES, ADJUSTMENTS, REQUIREMENTS, ETC., NECESSARY FOR THE ITEMS OF WORK TO BE PROPERLY DEMOLISHED, REMOVED, CHANGED, ADJUSTED, AND PROPERLY INTEGRATED AND COMBINED WITH NEW AND EXISTING WORK SPECIFIED IN THE CONTRACT.
- IN THE EVENT OF CONFLICT BETWEEN APPLICABLE CODES AND REGULATIONS AND THE STANDARDS OF THE CONTRACT DOCUMENTS, THE MORE STRINGENT PROVISIONS SHALL GOVERN.
- ALL NOTES AND DIMENSIONS DESIGNATED AS TYPICAL (TYP) APPLY TO ALL LIKE OR SIMILAR CONDITIONS THROUGHOUT THE DRAWINGS.
- REMOVE AND REINSTALL MISCELLANEOUS ITEMS FOUND ON THE ROOF WHICH WILL STANDARDS OF INTERFERE WITH THE INSTALLATION OF THE NEW ROOF. PROVIDE ALL FLASHINGS, PITCH POCKETS, ETC., REQUIRED FOR A WATERTIGHT ROOF.
- PROVIDE THREE SPLASH BLOCKS. INSTALL WHERE DIRECTED BY ARCHITECT.

ROOF REPLACEMENT FOR
ESSEX TOWN HALL
29 WEST AVENUE
ESSEX, CT

HRA
HIBBARD & ROSA
ARCHITECTS, LLC
363 MAIN STREET
MIDDLETOWN, CT
PHONE: (860) 946-1809
FAX: (860) 704-8048
EMAIL: hra@hrrabz

ROOF PLAN

DATE: JUNE 8, 2015

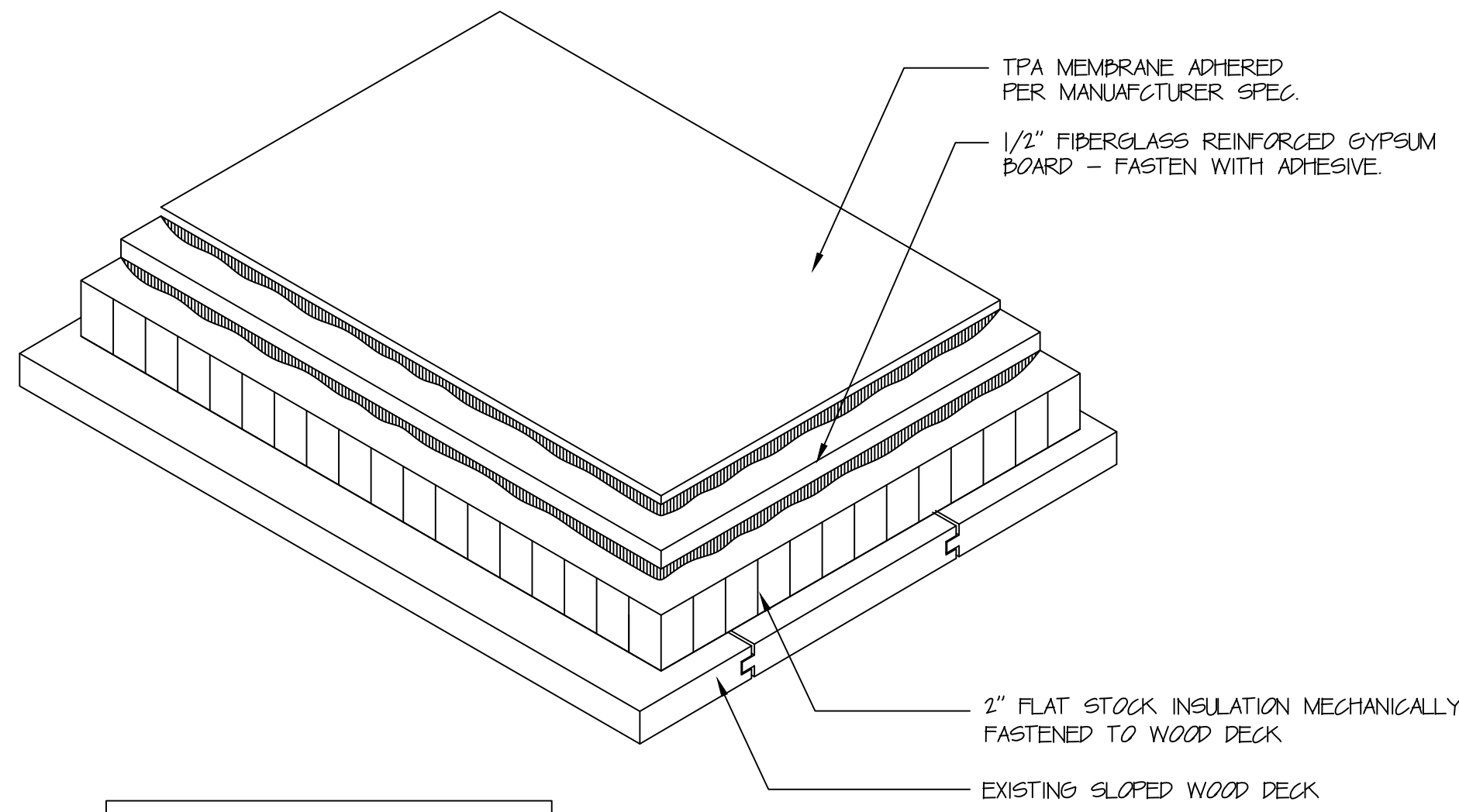
REVISED:

COM. # 1517

SCALE: 1/8" = 1'-0"

A-1

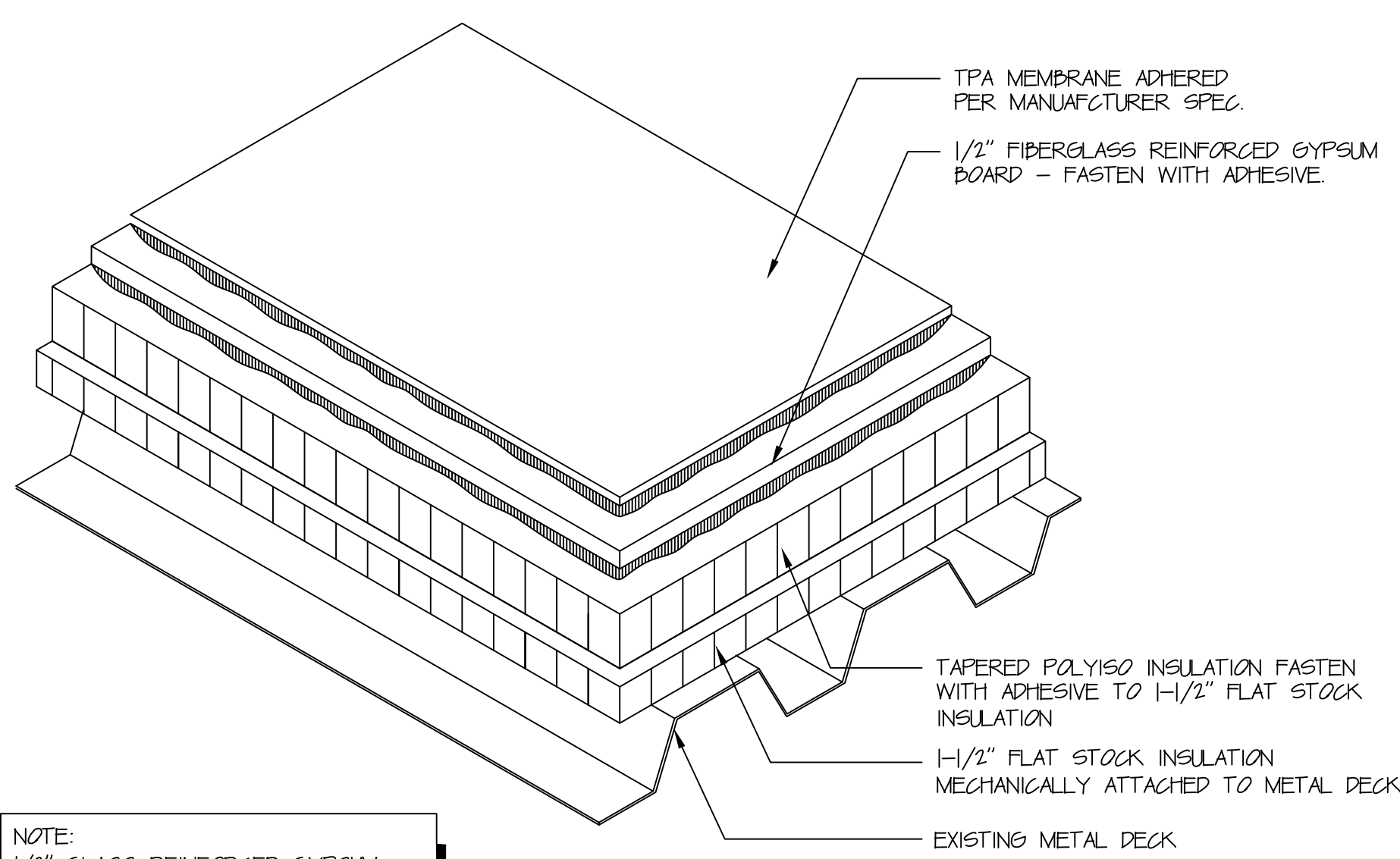
SHEET



NOTE:
1/2" GLASS REINFORCED GYPSUM BOARD ON POLYISO/RIGID INSULATION STAGGER ALL JOINTS. FASTEN IN PLACE ALL INSULATION ACCORDING SPECIFICATION.

TYPICAL TPA MEMBRANE ON WOOD DECK

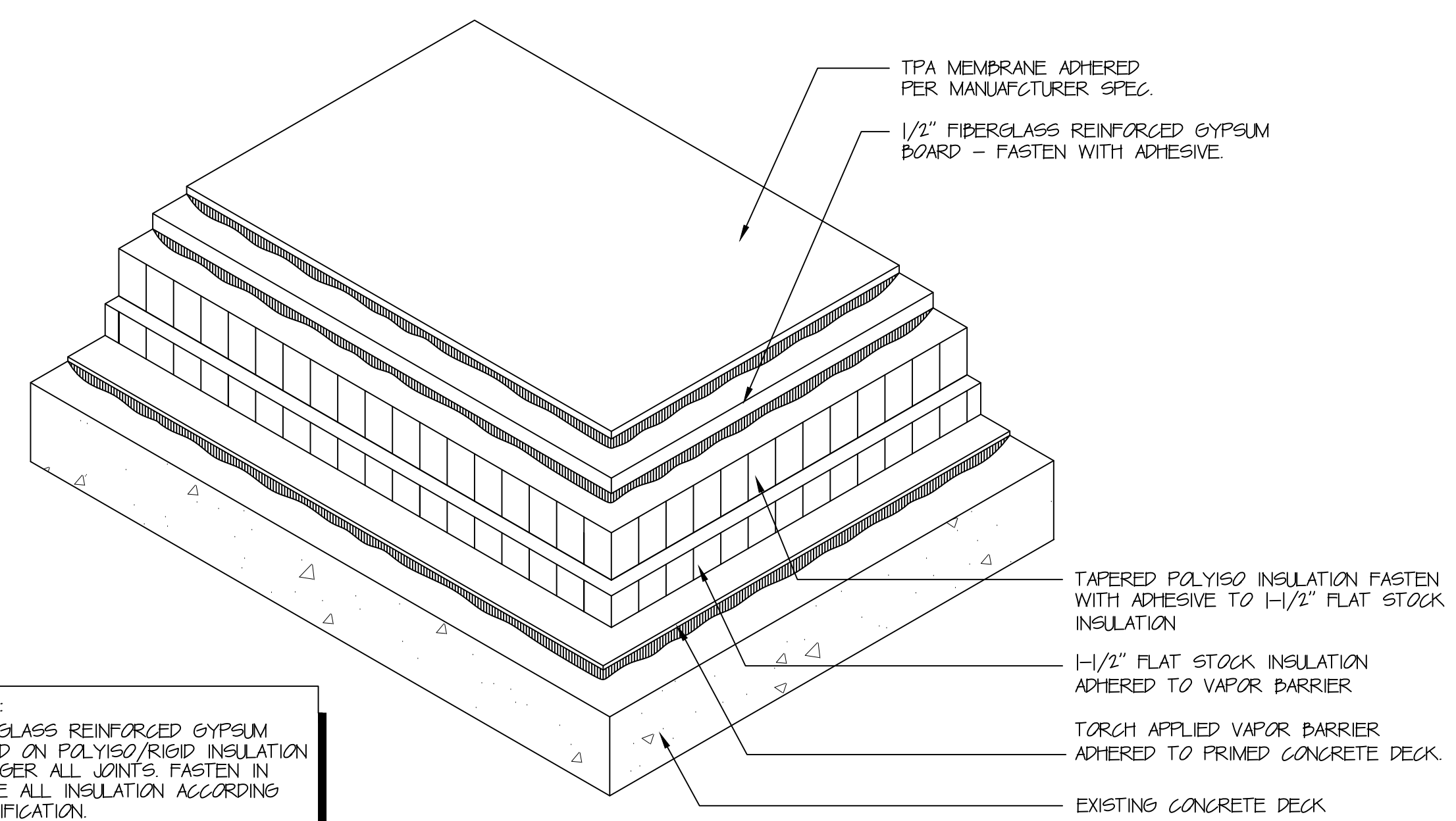
1
NTS



NOTE:
1/2" GLASS REINFORCED GYPSUM BOARD ON POLYISO/RIGID INSULATION STAGGER ALL JOINTS. FASTEN IN PLACE ALL INSULATION ACCORDING SPECIFICATION.

TYPICAL TPA MEMBRANE ON METAL DECK

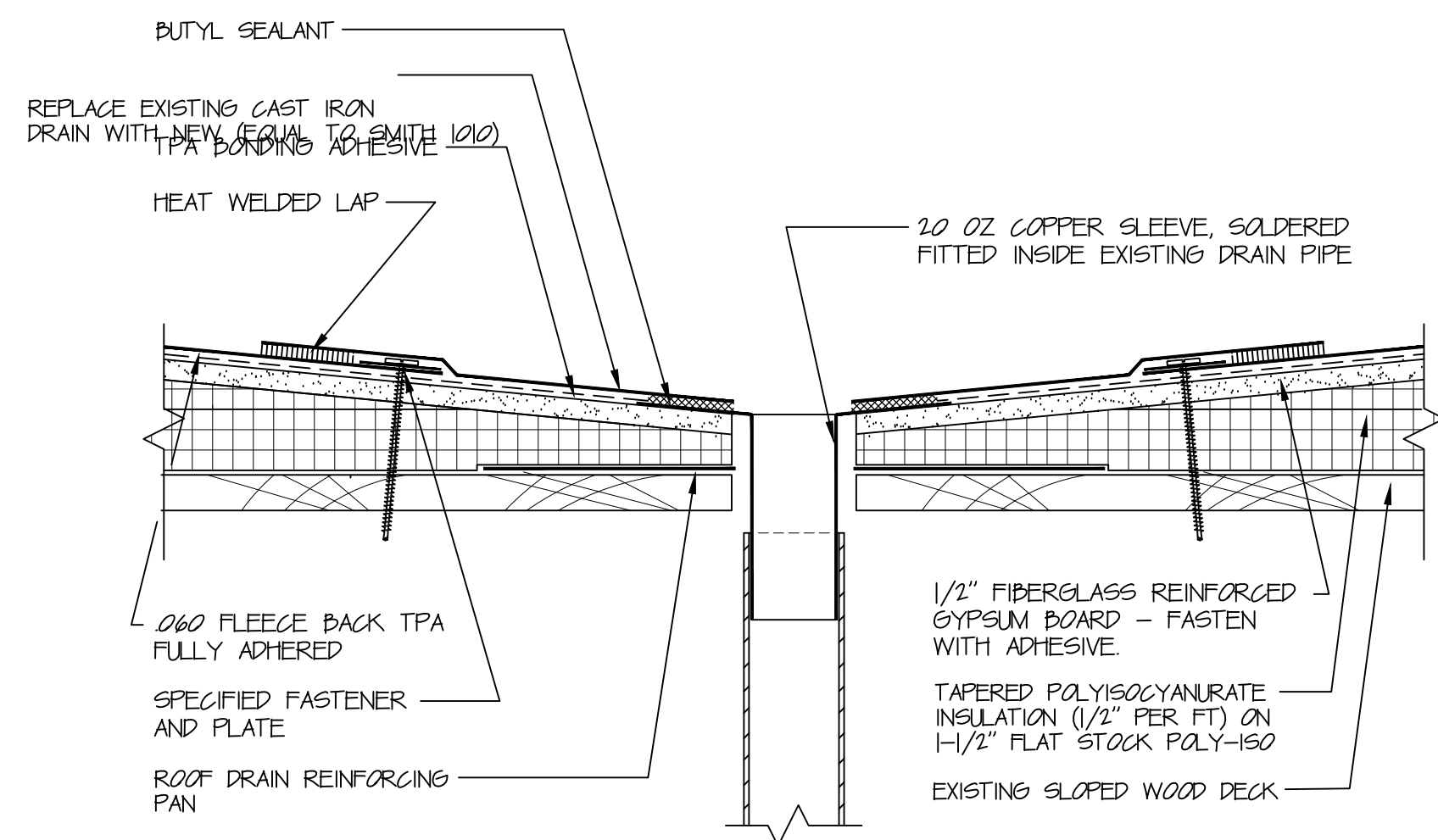
2
NTS



NOTE:
1/2" GLASS REINFORCED GYPSUM BOARD ON POLYISO/RIGID INSULATION STAGGER ALL JOINTS. FASTEN IN PLACE ALL INSULATION ACCORDING SPECIFICATION.

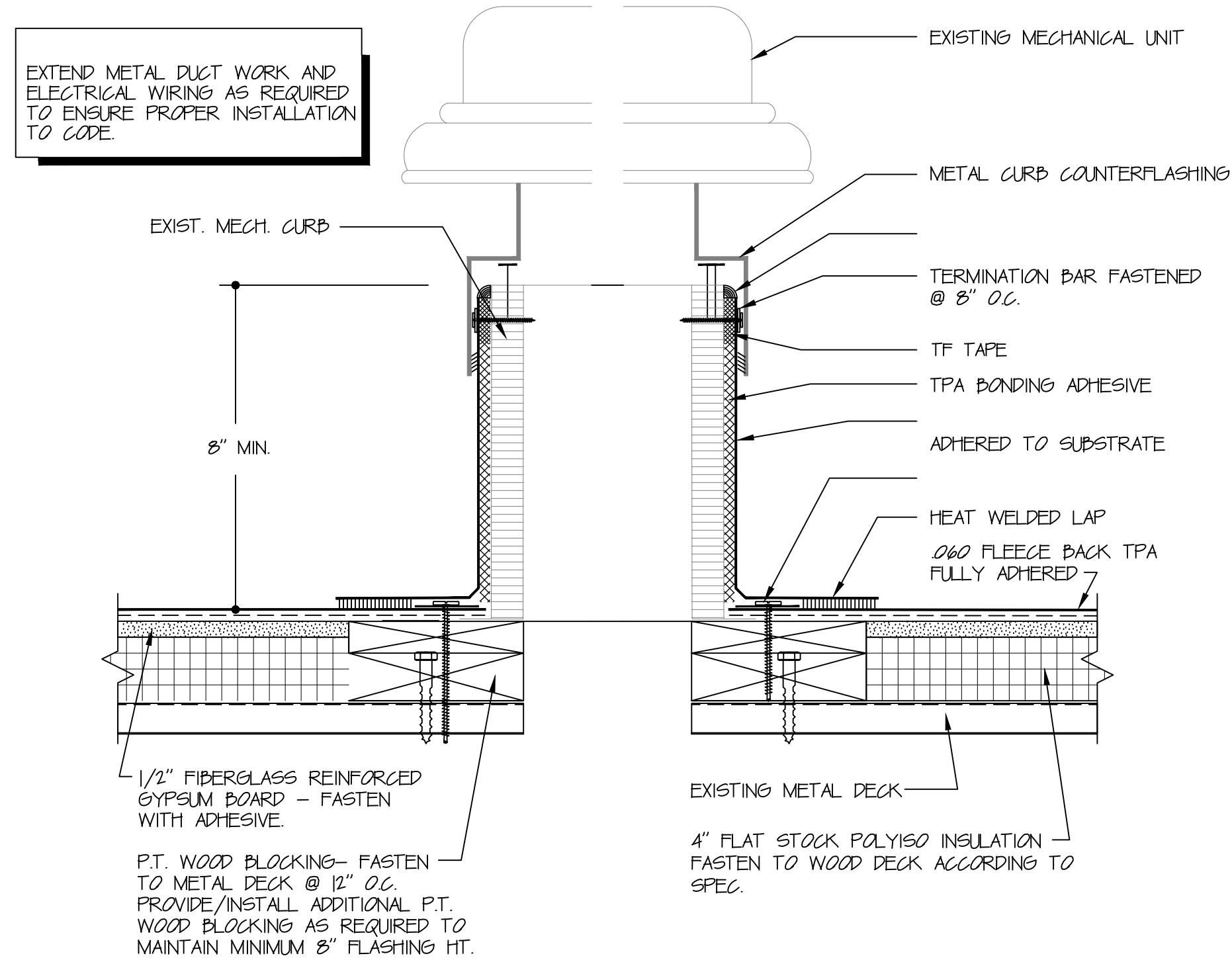
TYPICAL TPA MEMBRANE ON CONCRETE DECK

3
NTS



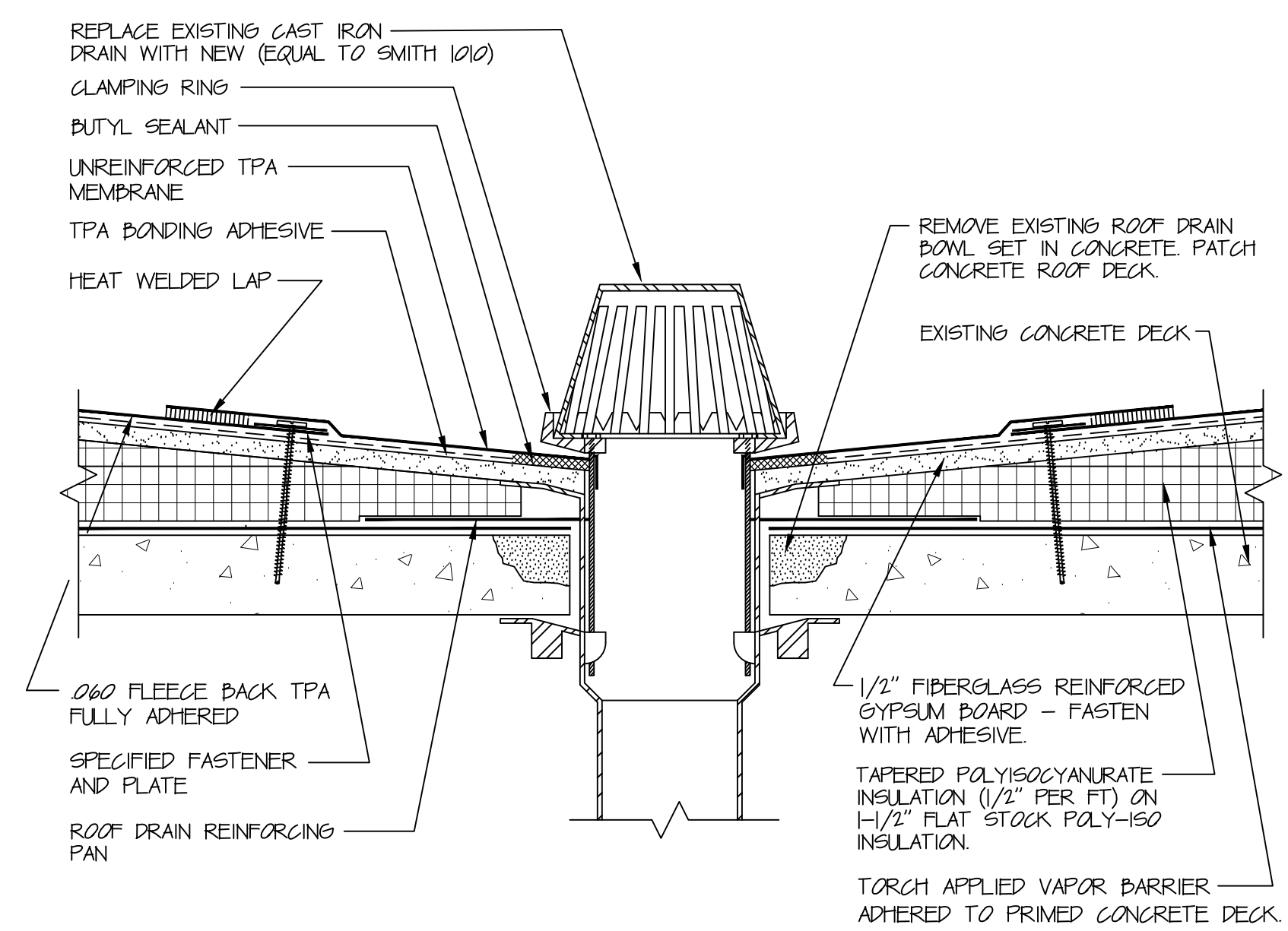
ROOF DRAIN - WOOD DECK

4
3" = 1'-0"



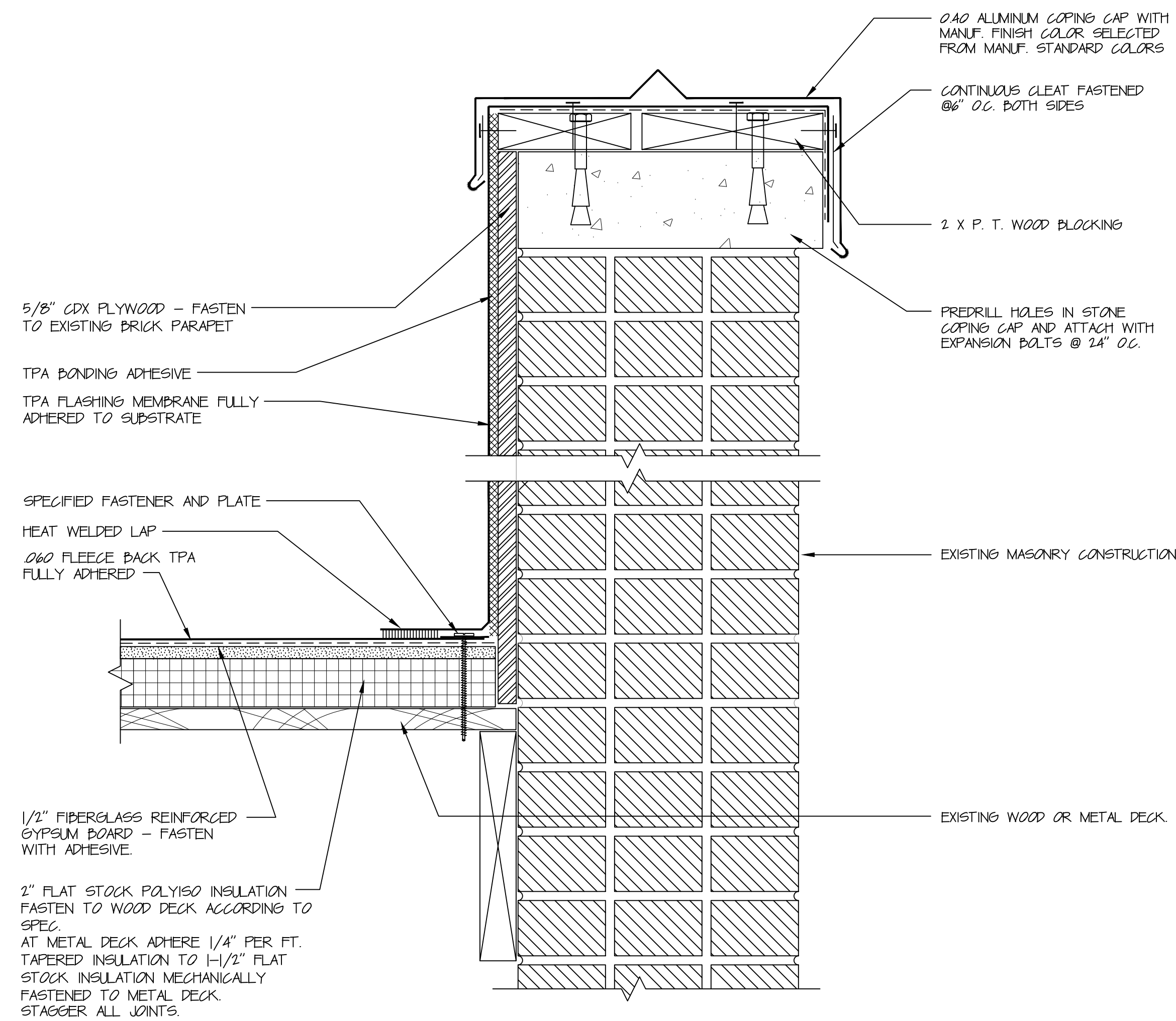
MECHANICAL CURB DETAIL

5
3" = 1'-0"



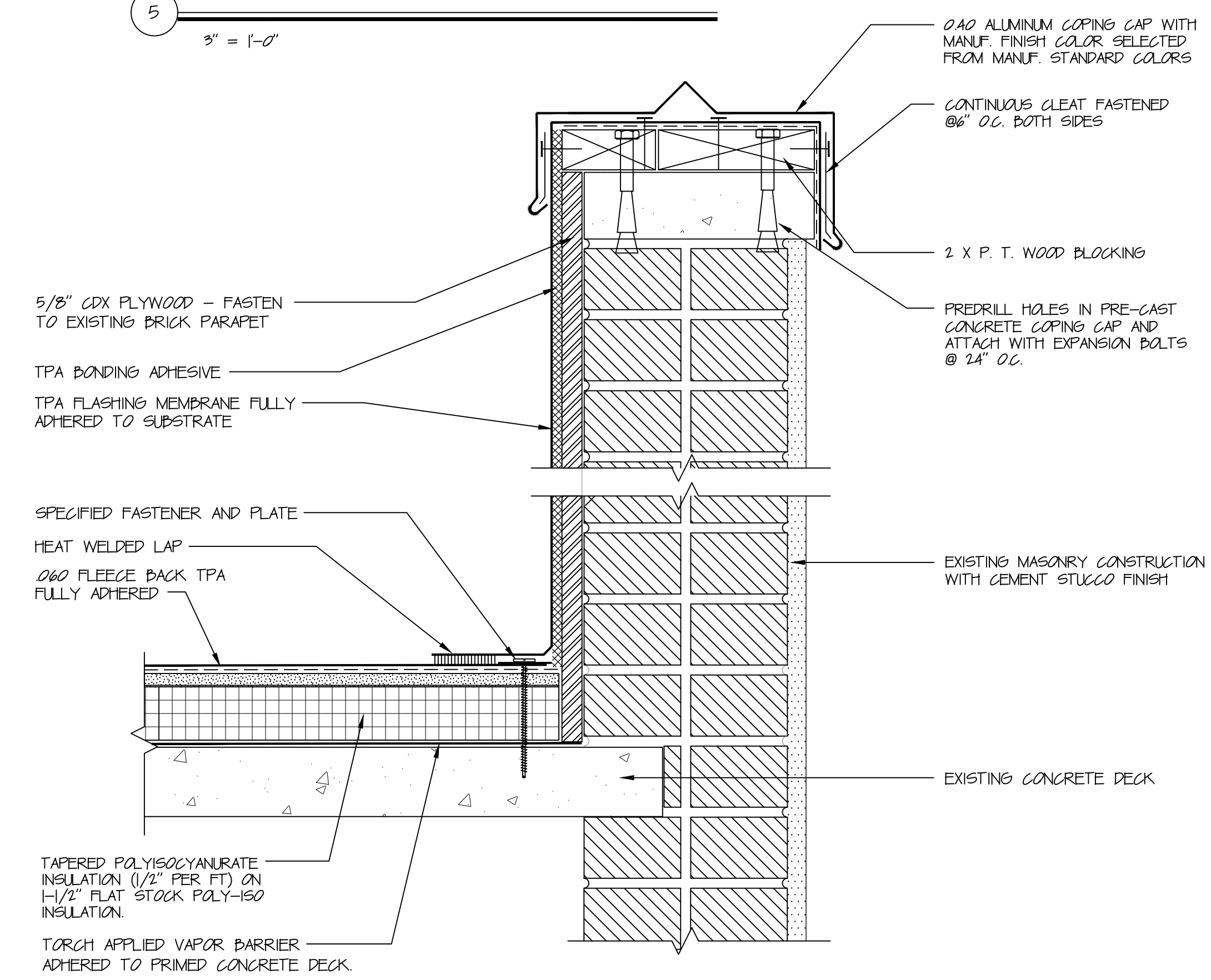
ROOF DRAIN - CONCRETE DECK

6
3" = 1'-0"



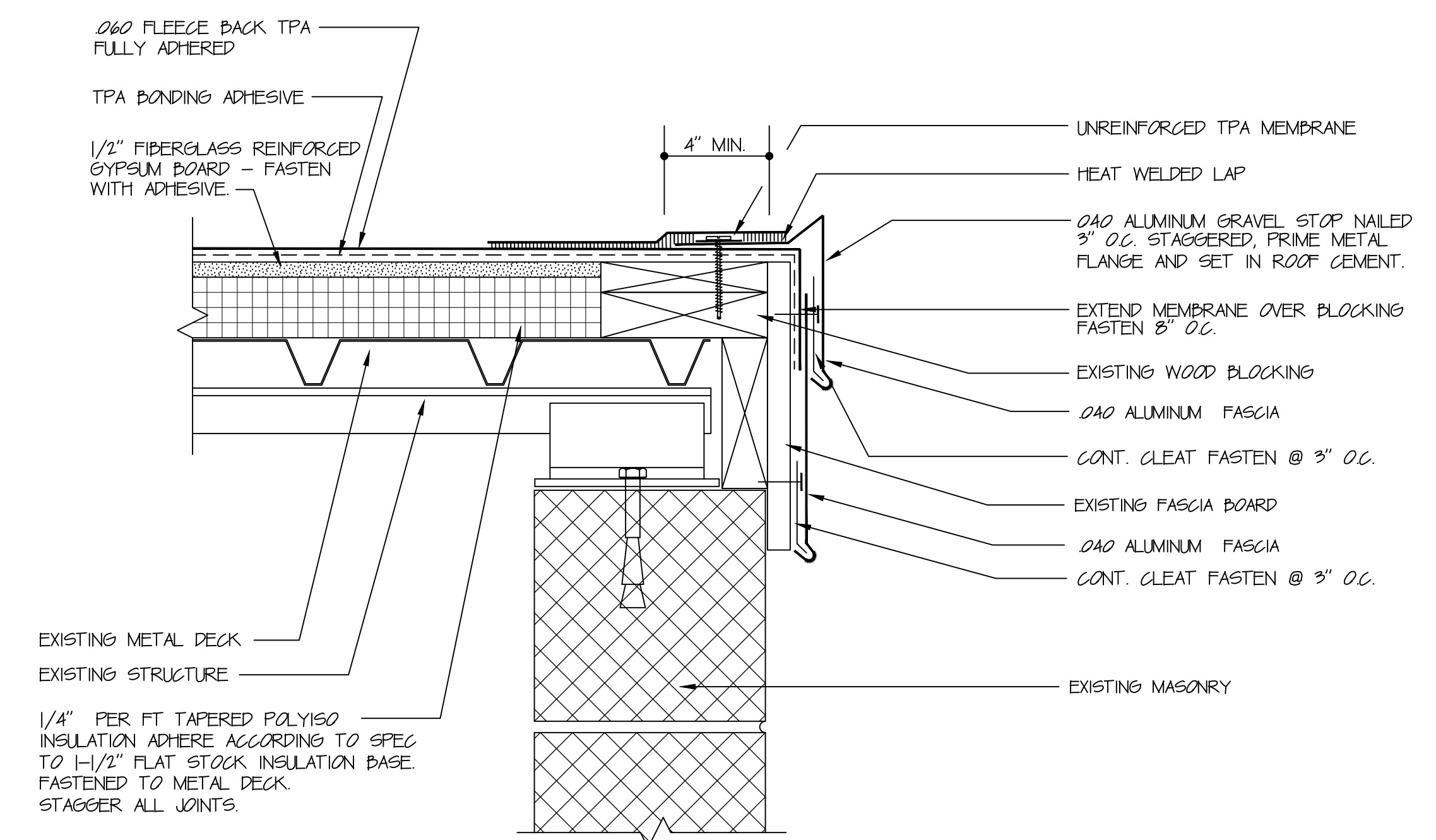
PARAPET WOOD OR METAL DECK

7
3" = 1'-0"



PARAPET CONCRETE DECK

8
3" = 1'-0"



GRAVEL STOP DETAIL

9
3" = 1'-0"

ROOF REPLACEMENT FOR
ESSEX TOWN HALL
29 WEST AVENUE
ESSEX, CT



ROOF DETAILS

DATE: JUNE 8, 2015

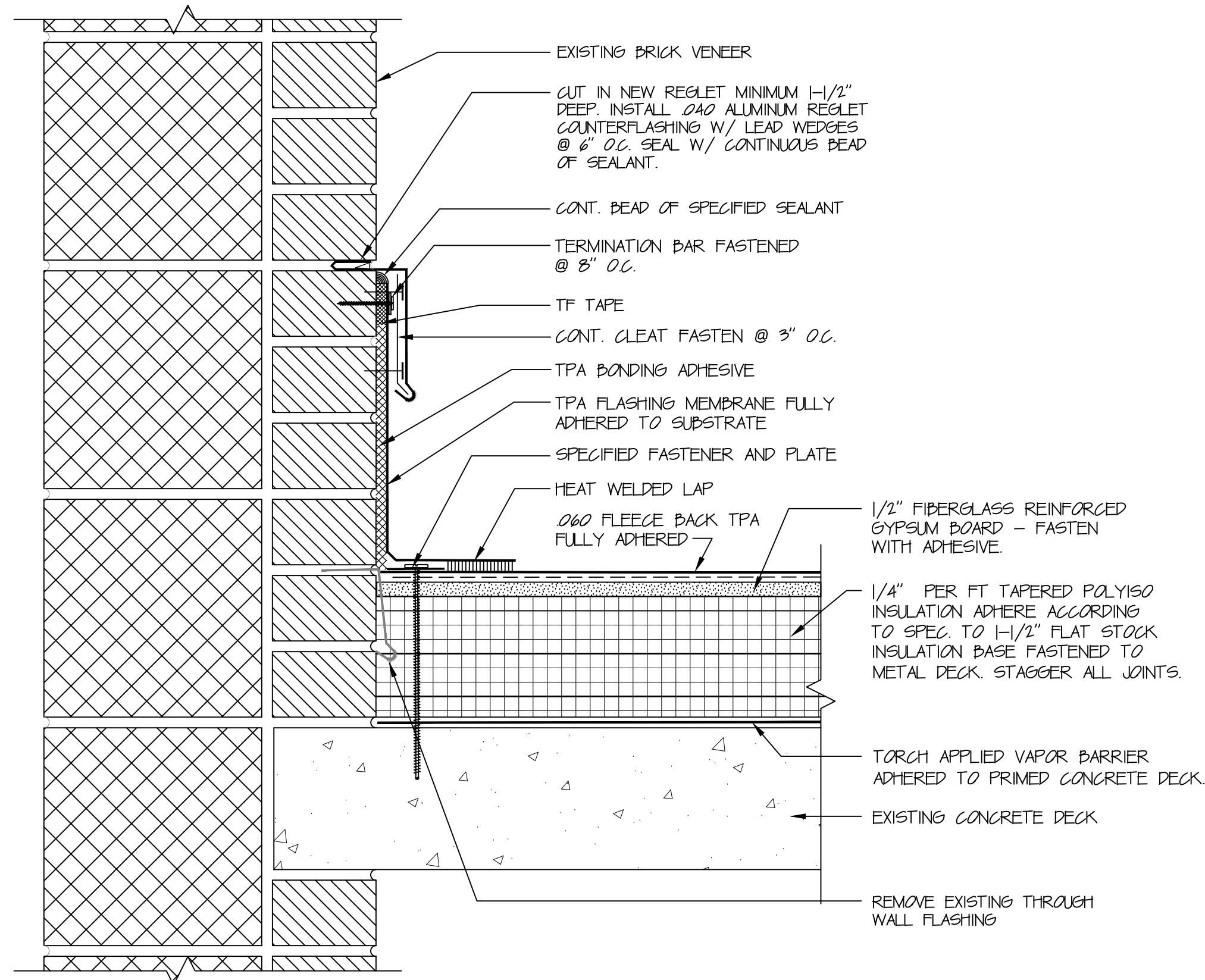
REVISED:

COM. # 157

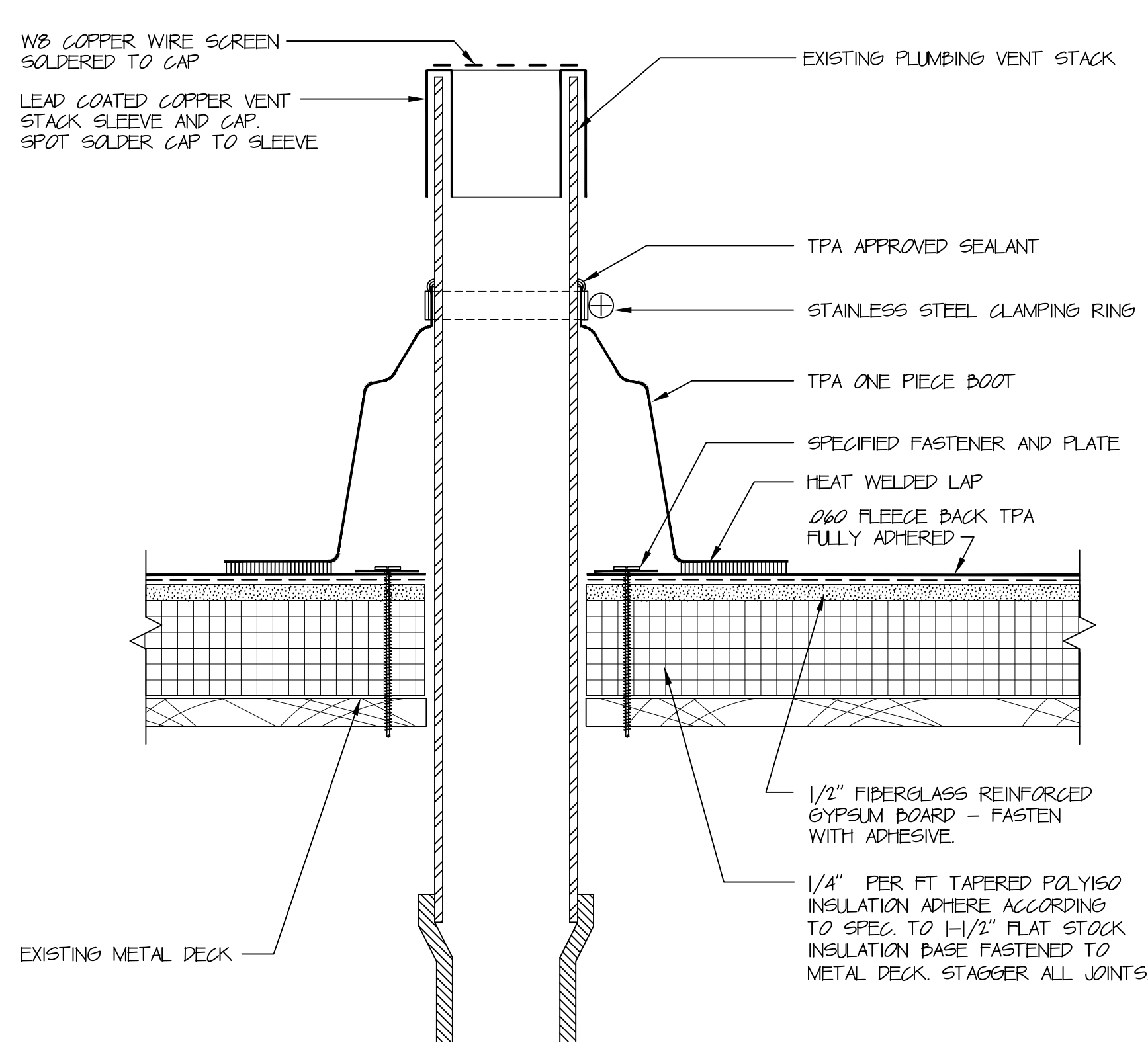
SCALE: 3" = 1'-0"

A-2

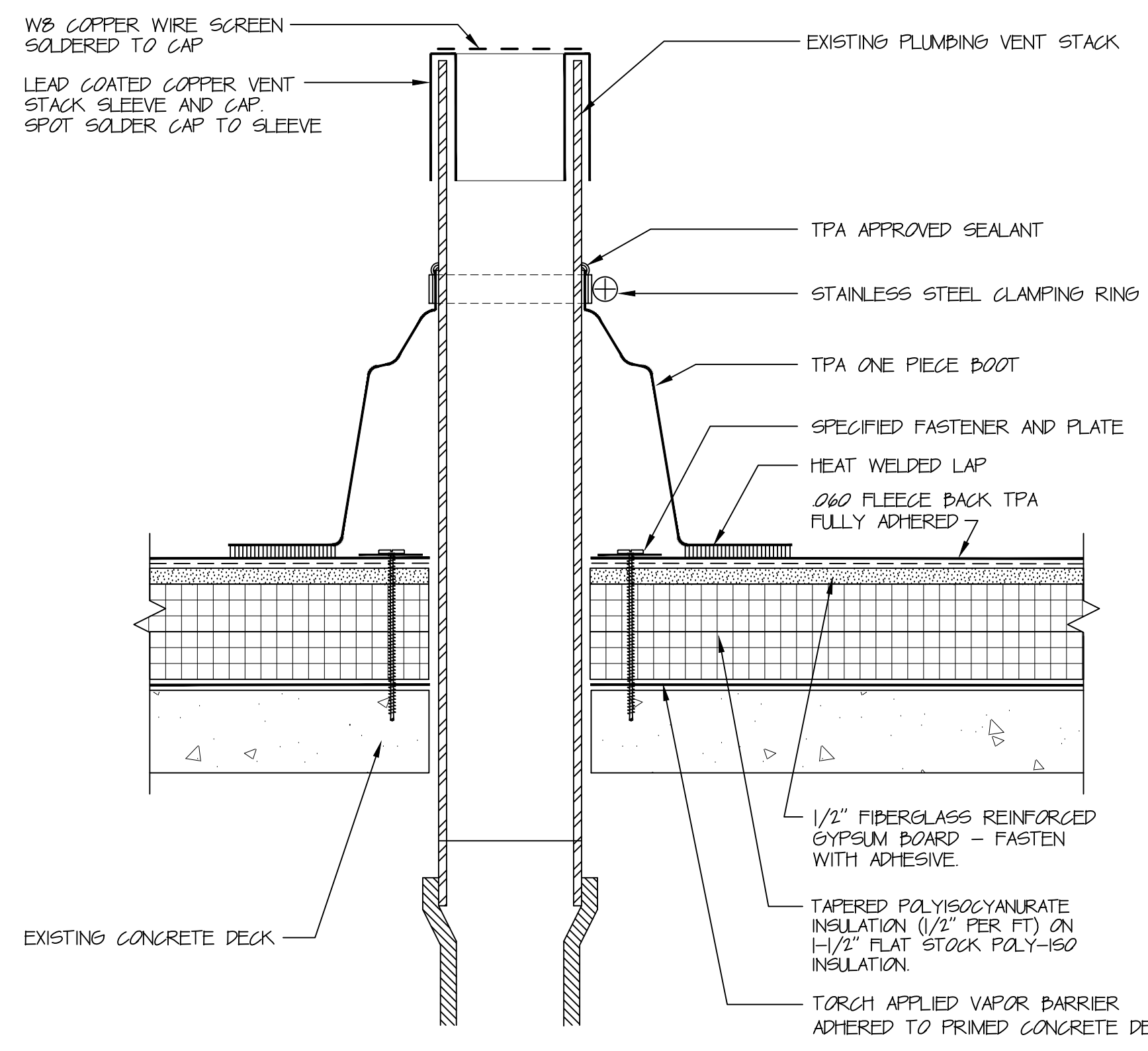
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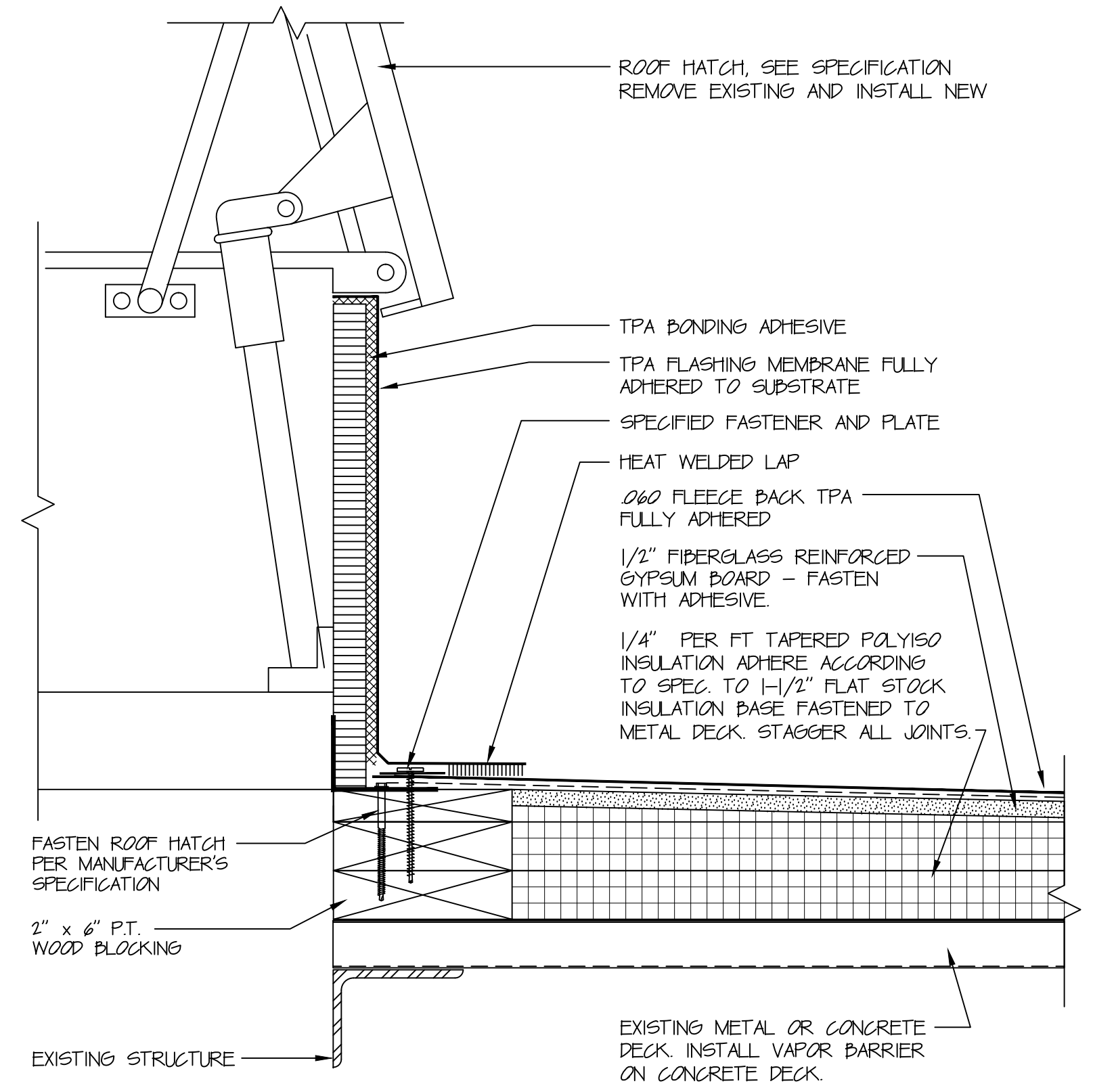
1 REGLET FLASHING DETAIL
3" = 1'-0"



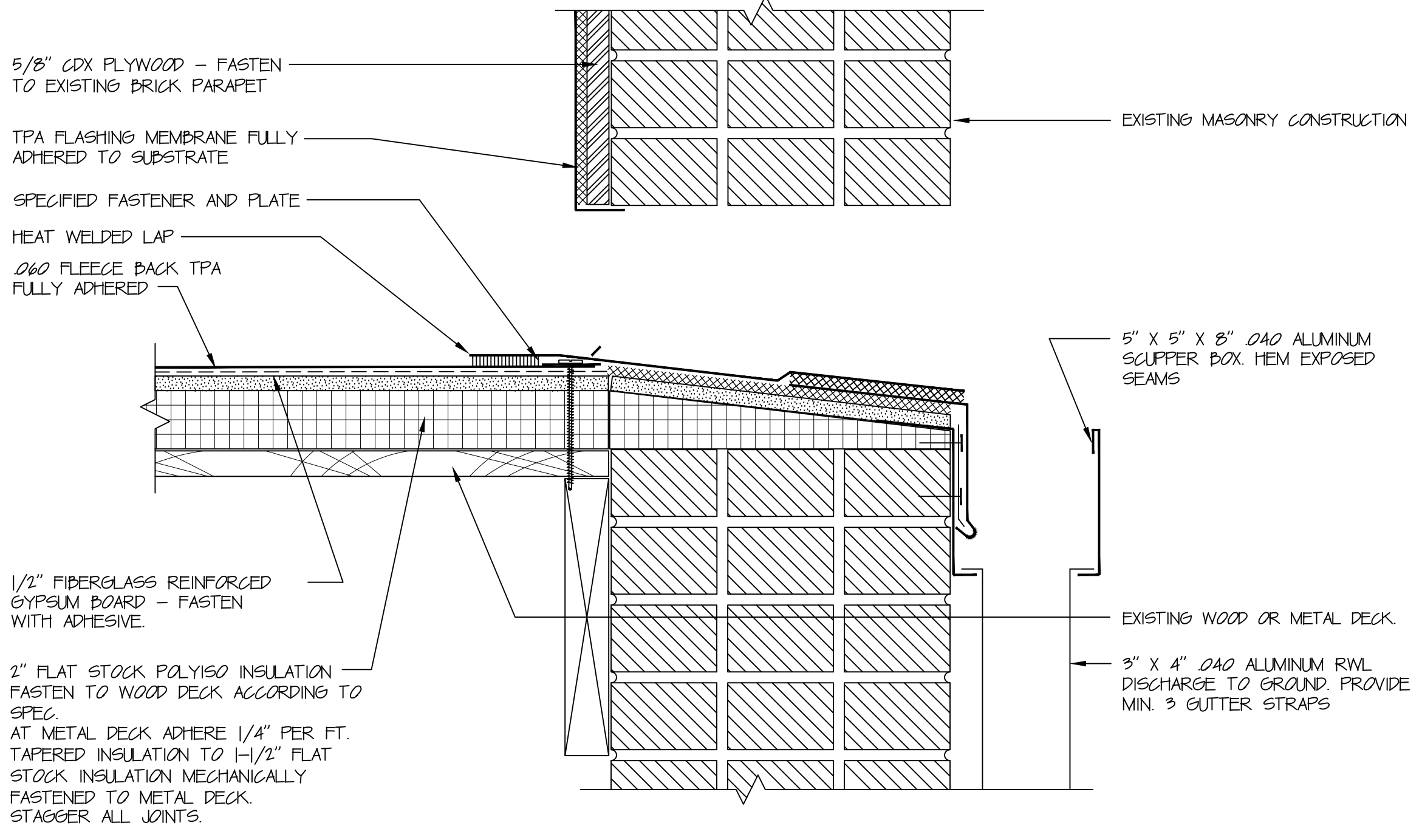
2 PLUMBING VENT
3" = 1'-0"



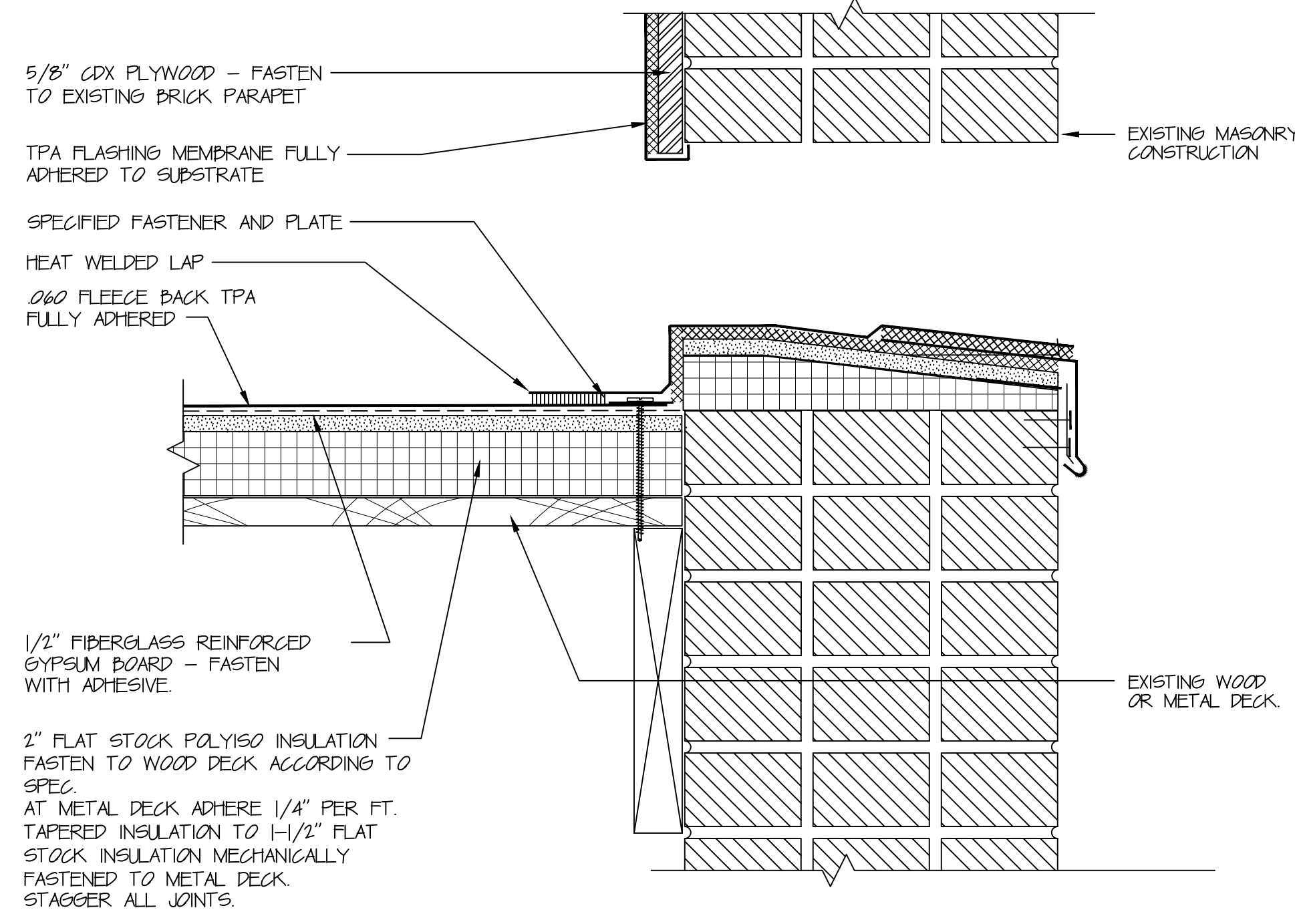
3 PLUMBING VENT
3" = 1'-0"



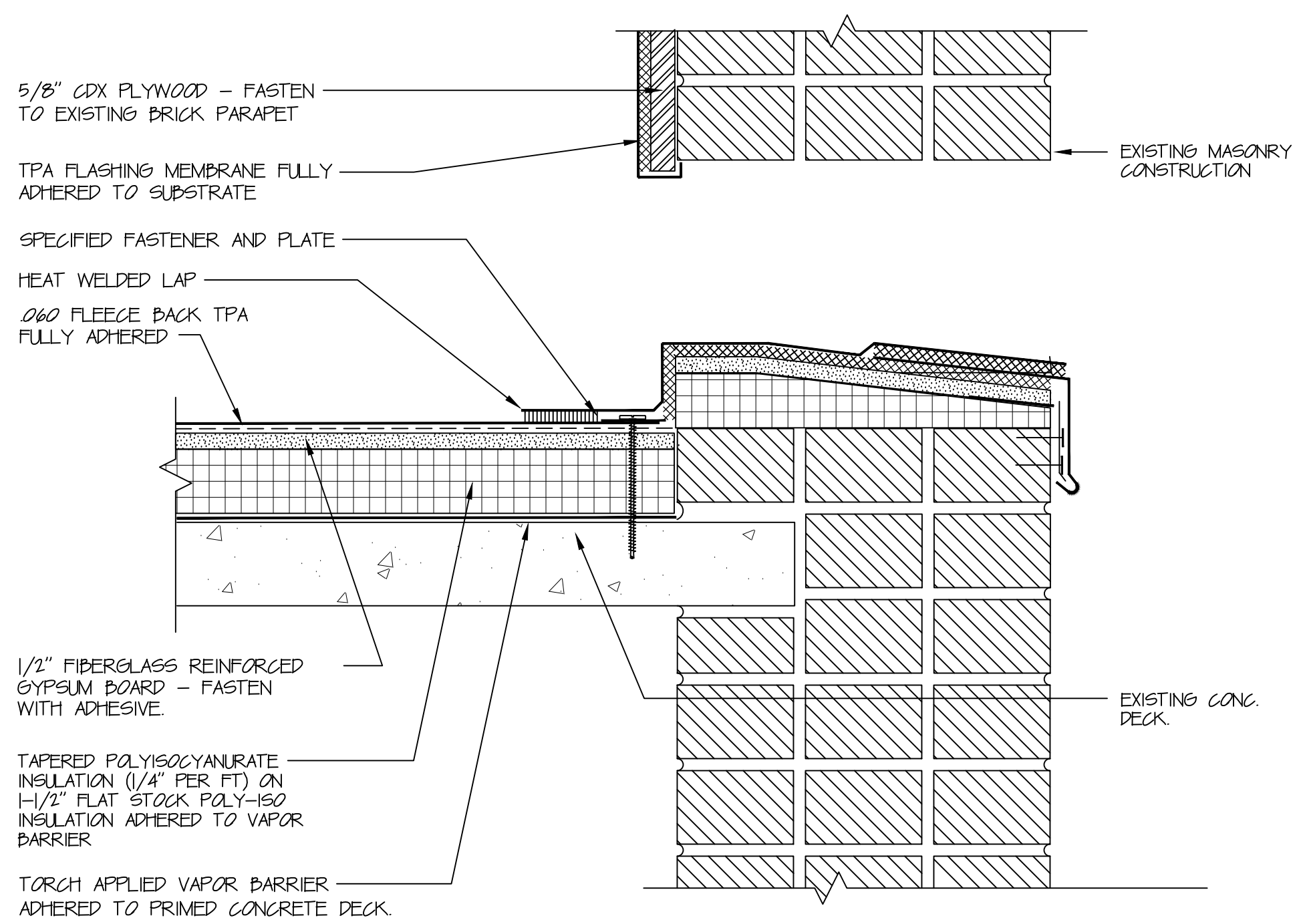
4 ROOF HATCH DETAIL
3" = 1'-0"



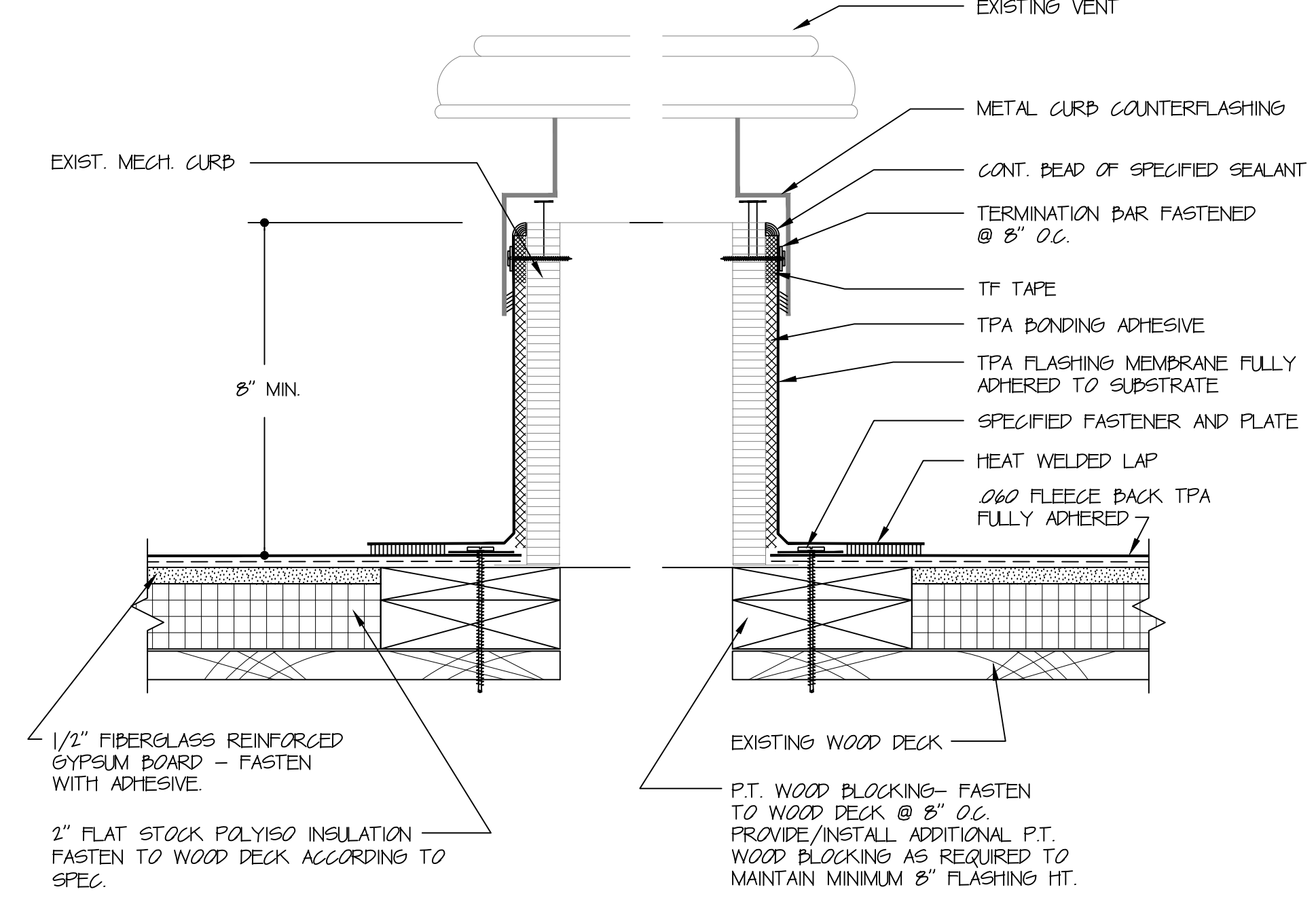
5 PRIMARY SCUPPER - WOOD/METAL DECK
3" = 1'-0"



6 OVERFLOW SCUPPER - WOOD/METAL DECK
3" = 1'-0"



7 OVERFLOW SCUPPER - CONCRETE DECK
3" = 1'-0"



8 GRAVITY VENT - ATTIC
3" = 1'-0"

ROOF REPLACEMENT FOR
ESSEX TOWN HALL
29 WEST AVENUE
ESSEX, CT

HRA
HIBBARD & ROSA
ARCHITECTS, LLC
363 MAIN STREET
MIDDLETOWN, CT
PHONE: (860) 346-1809
FAX: (860) 704-8048
EMAIL: hra@hrrbz

ROOF DETAILS

DATE: JUNE 8, 2015

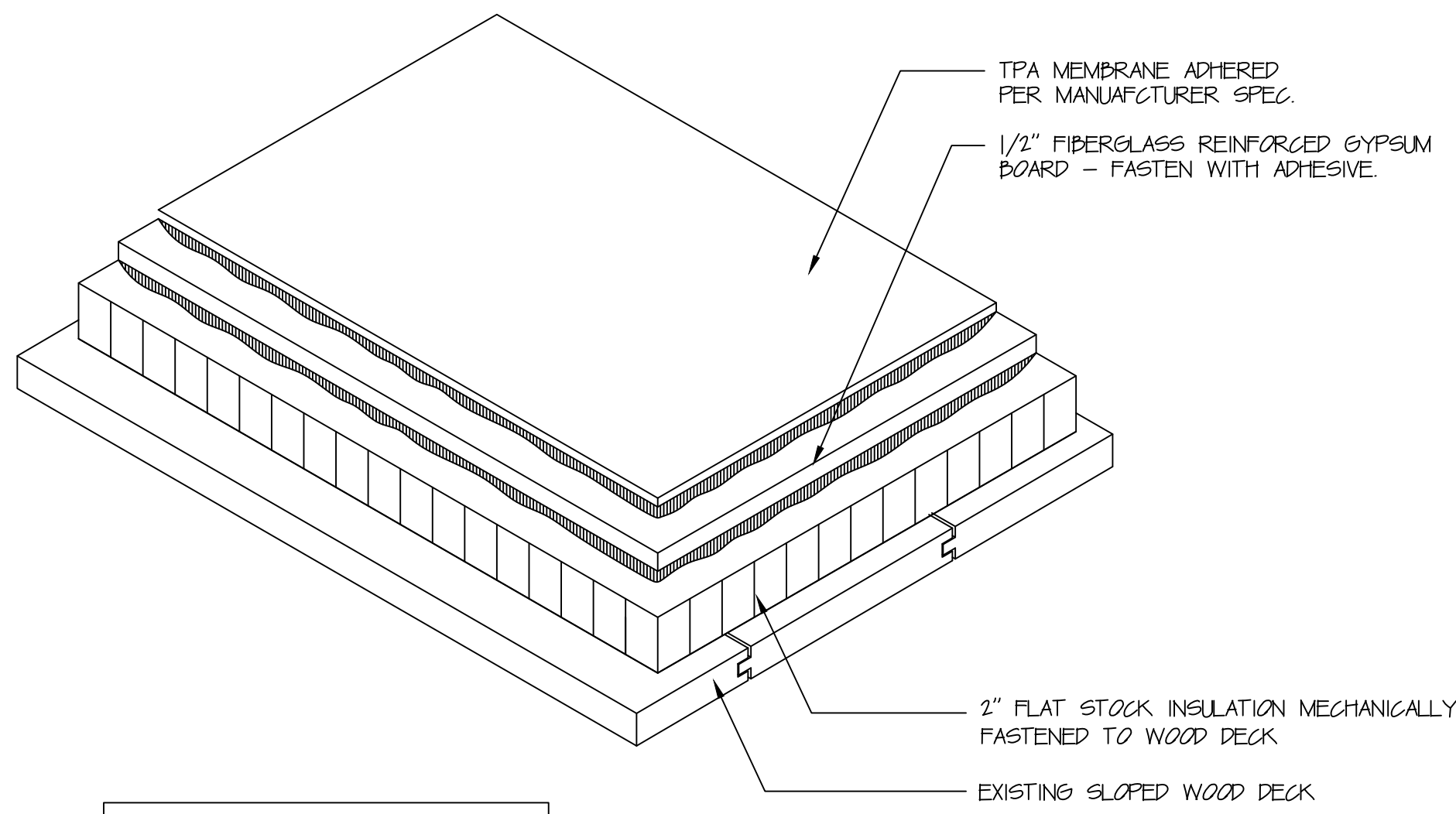
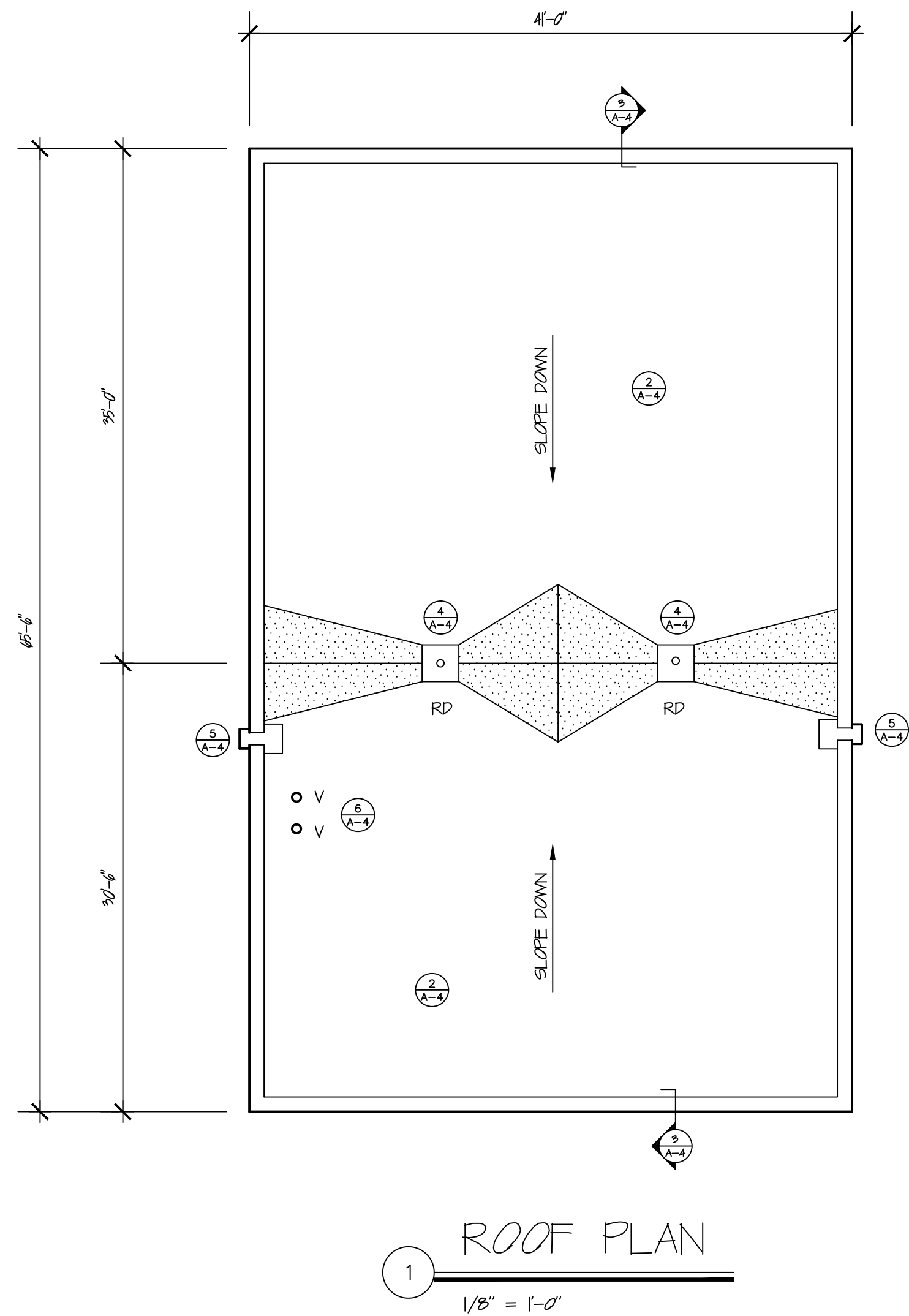
REVISED:

COM. # 157

SCALE: 3" = 1'-0"

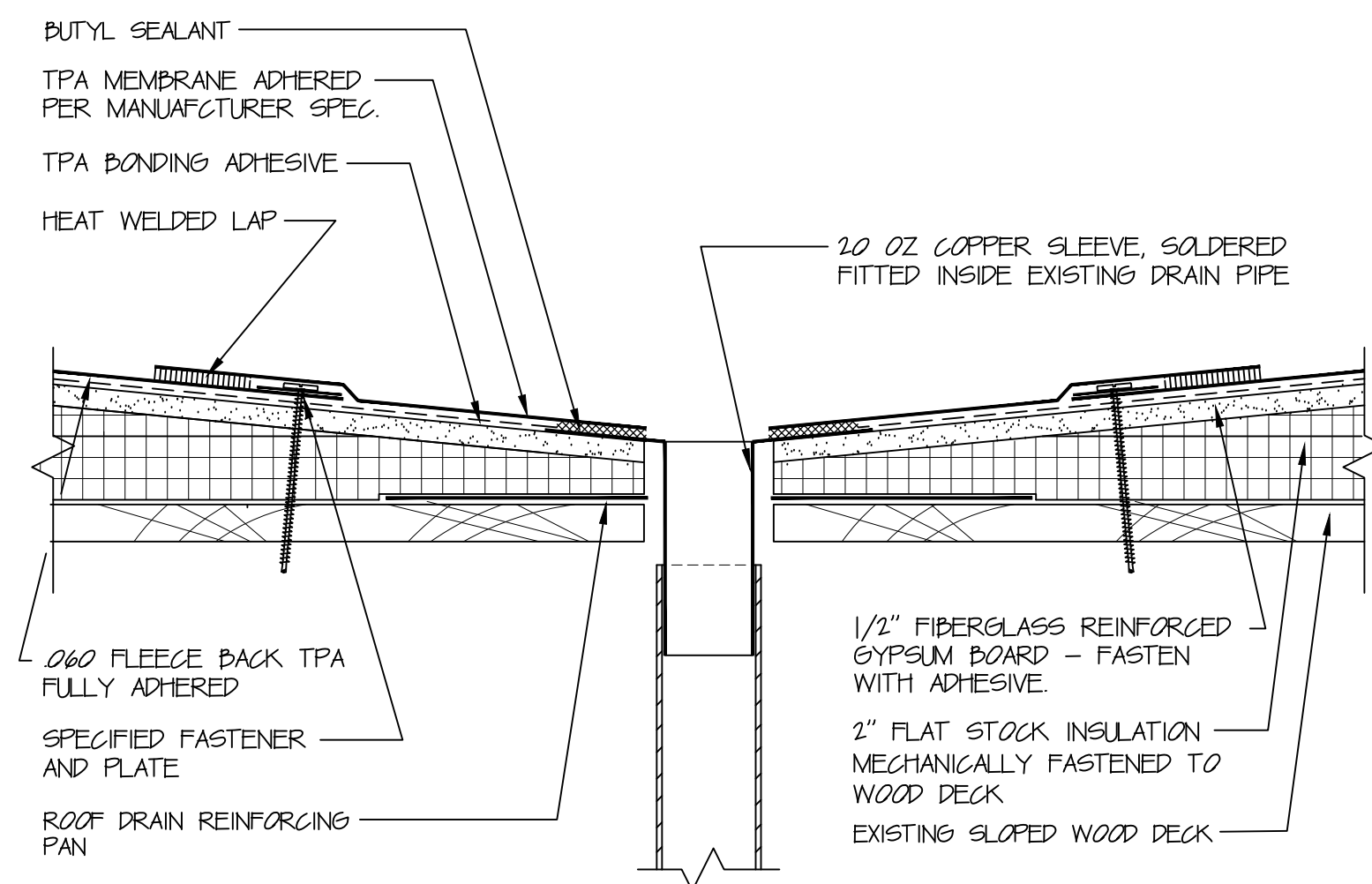
A-3

SHEET

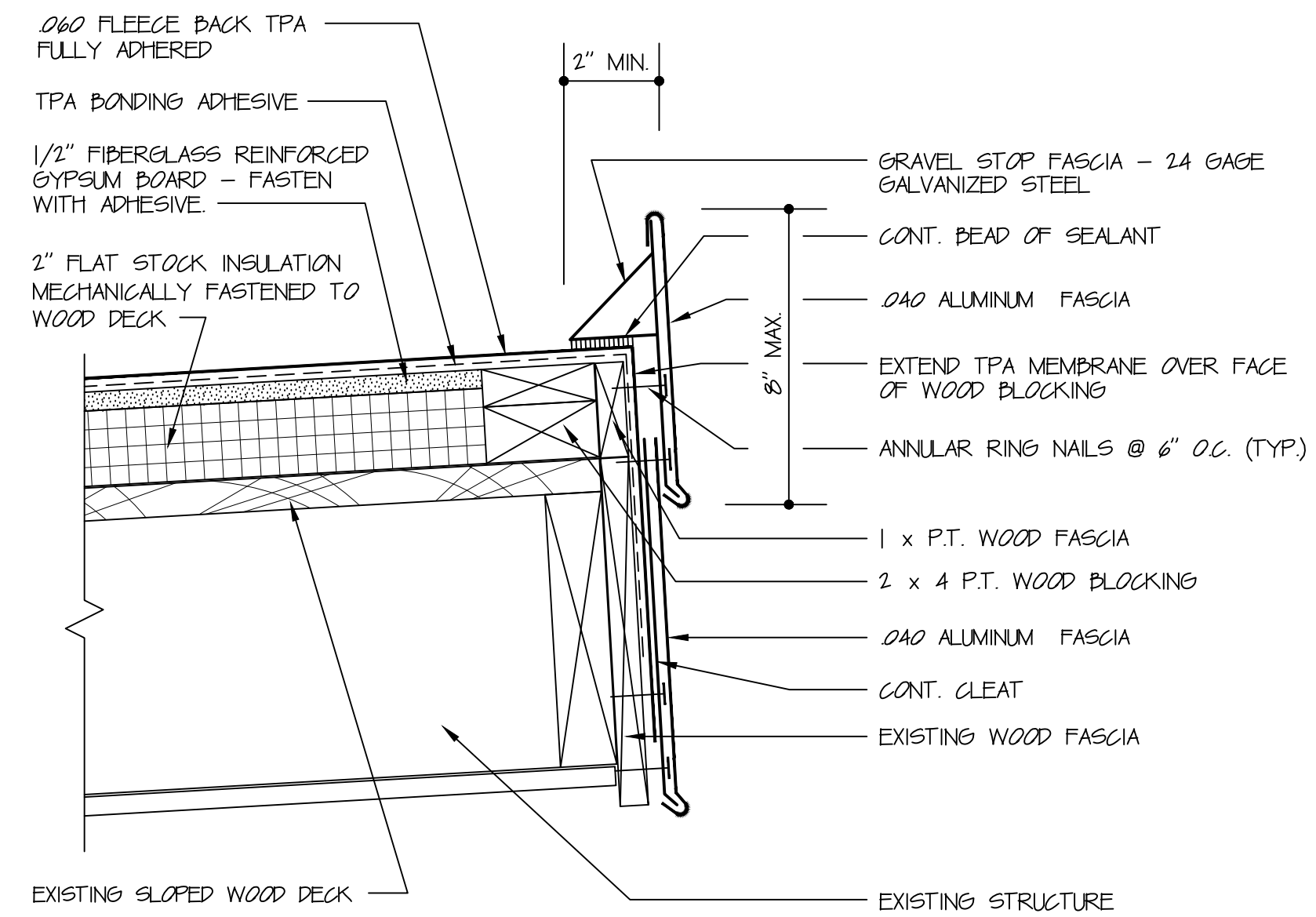


NOTE:
1/2" GLASS REINFORCED GYPSUM BOARD ON POLYISO/RIED INSULATION STAGGER ALL JOINTS. FASTEN IN PLACE ALL INSULATION ACCORDING SPECIFICATION.

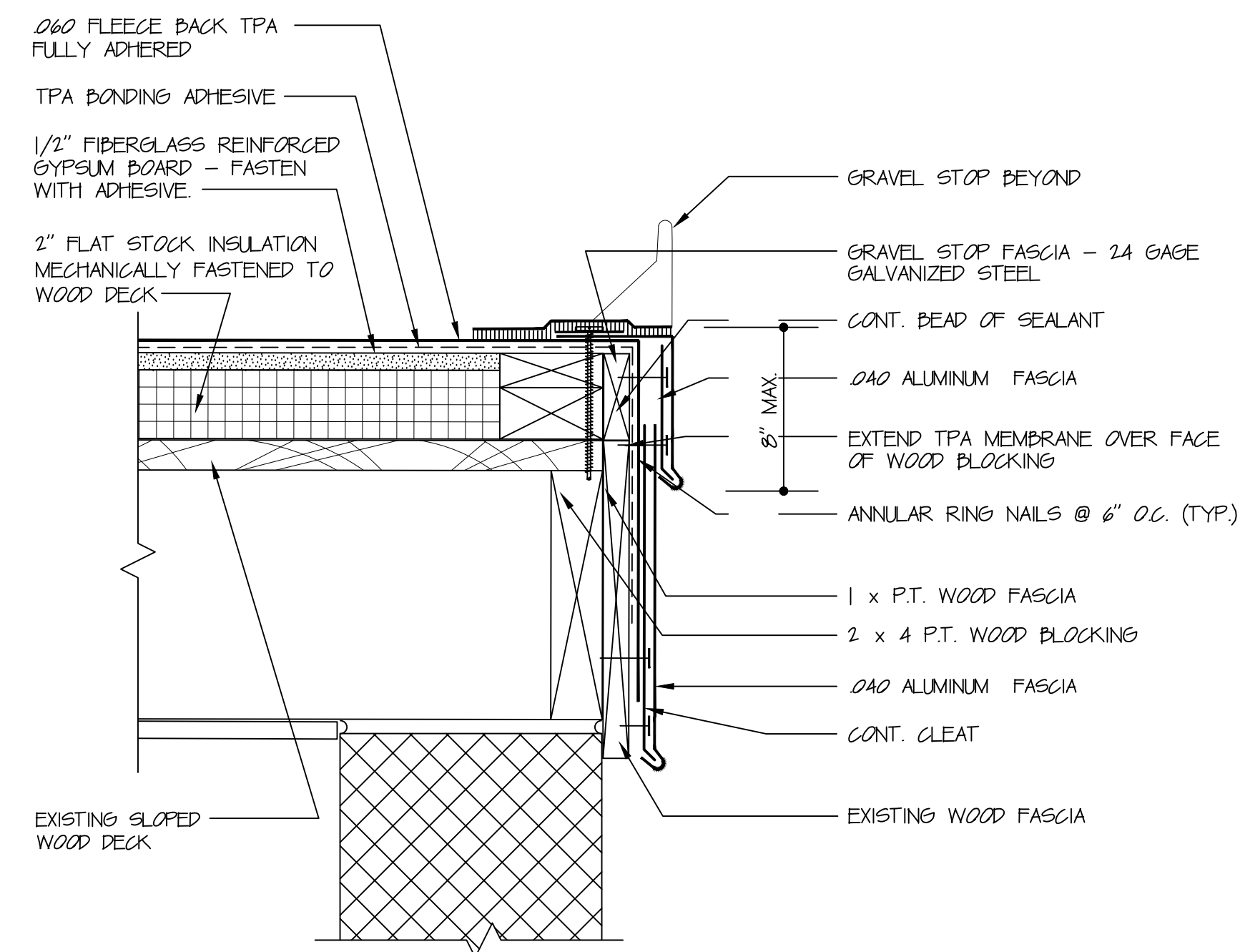
2 TYPICAL TPA MEMBRANE ON WOOD DECK
NTS



4 ROOF DRAIN - WOOD DECK
3" = 1'-0"

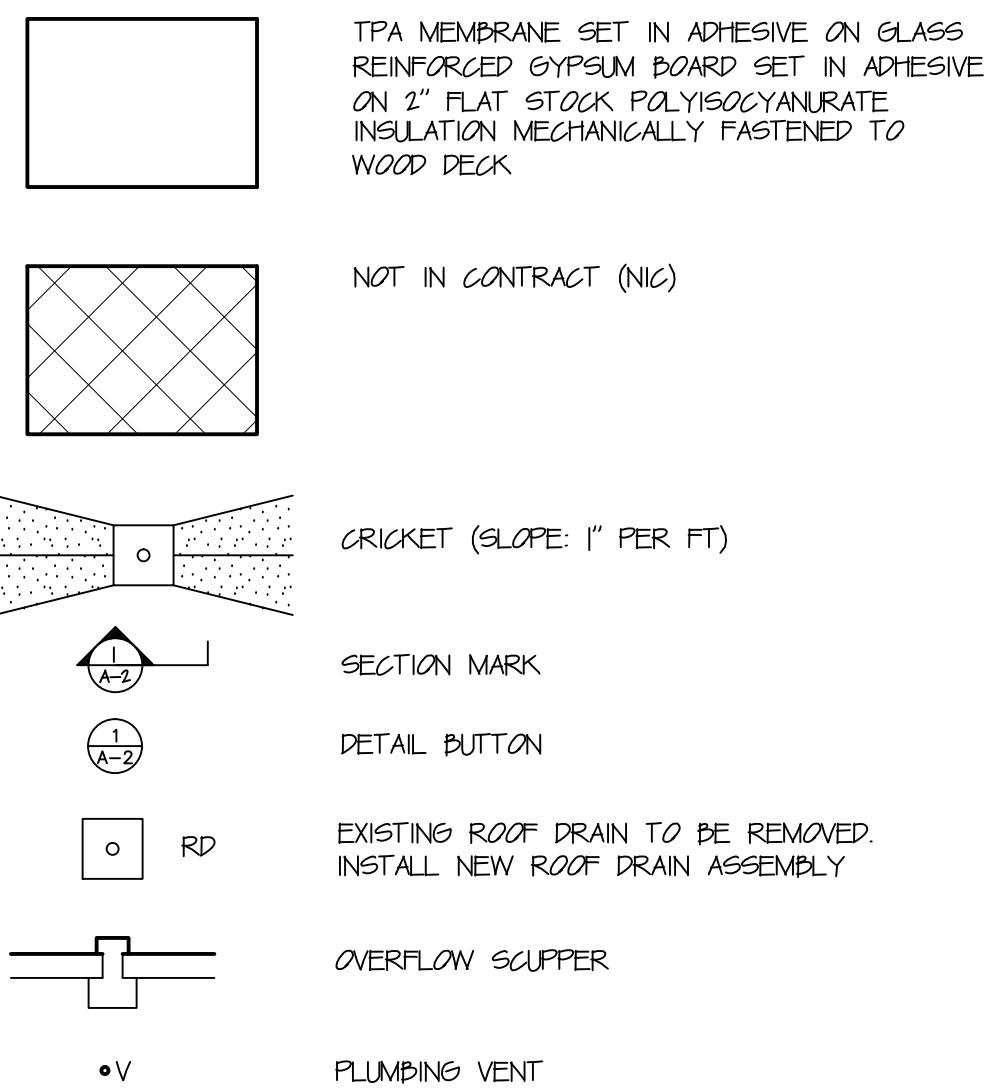


3 GARVEL STOP DETAIL
NTS



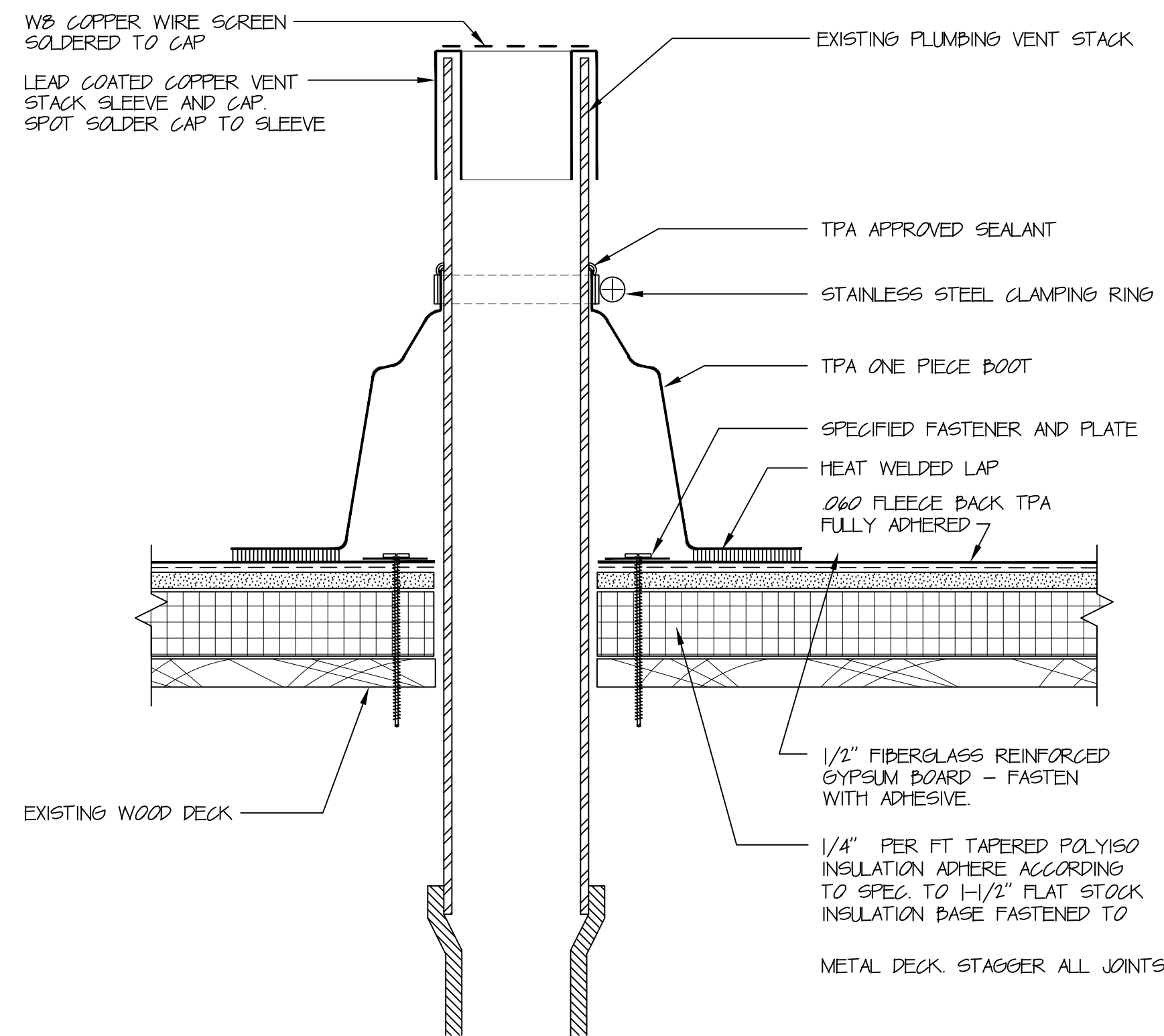
5 OVERFLOW SCUPPER
3" = 1'-0"

LEGEND - ROOF



GENERAL NOTES - ROOF

- CONTRACTOR SHALL TAKE AND VERIFY ALL DIMENSIONS IN THE FIELD, AND SHALL BE HELD RESPONSIBLE FOR THE SAME.
- CONTRACTOR SHALL TAKE AND VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO BEGINNING ANY WORK AND NOTIFY OWNER OF ANY DISCREPANCIES.
- CONTRACTOR SHOULD FULLY UNDERSTAND THAT THE WORK INCLUDES THE USE OF A MANUFACTURER'S CERTIFIED/PROVED INSTALLERS IN ORDER TO OBTAIN LONG TERM MANUFACTURER'S GUARANTEE.
- THE DIVISION OF WORK AMONG THE VARIOUS TRADES OR SUBCONTRACTORS (IF ANY) NECESSARY AND THE COORDINATING OF THE TOTAL WORK IS THE CONTRACTOR'S RESPONSIBILITY.
- THE CONTRACTOR SHALL CONFINE MOVEMENTS ON THE OWNERS PROPERTY TO AREAS DESIGNATED ON THE SITE PLAN AND AS DESIGNATED AT THE PRE-CONSTRUCTION.
- FASTENERS ARE MECHANICAL FASTENERS OR AS INDICATED. FASTENERS USED IN THE WORK ARE TO PROVIDE 1/2" PENETRATION INTO THE SUBSTRATE OR AS REQUIRED BY THE FASTENER MANUFACTURER.
- FLASHINGS ARE TO BE INSTALLED IN A WATER-SHEPPING FASHION.
- PROVIDE PROPER TYPE CAULKING/SEALANT IN ALL AREAS INDICATED ON DRAWINGS AND AS REQUIRED FOR A WATERTIGHT ROOF.
- WHERE THE WORD "EXISTING" APPEARS WITH DESCRIPTIONS, NOTATIONS, DIRECTIVES, EXPLANATIONS, REQUIREMENTS, ETC., THROUGH OUT THE DRAWINGS AND SPECIFICATIONS, SUCH AS "EXISTING METAL DECK", "EXISTING DRAIN WALL", THE REFERRED TO ITEM OR ITEMS OF WORK SHALL BE UNDERSTOOD AS MEANING WORK TO:
 - REMAIN IN PLACE WITHOUT MAJOR CHANGES, BUT, SHALL INCLUDE ALL OTHER CHANGES, ADJUSTMENTS, REQUIREMENTS, ETC., NECESSARY FOR THE ITEMS OF WORK TO BE PROPERLY INTEGRATED INTO AND COMBINED WITH THE NEW AND EXISTING SPECIFIED WORK IN THE CONTRACT, OR
 - REMOVED, DISPOSED OF AND/OR REINSTALLED, INCLUDING ALL CHANGES, ADJUSTMENTS, REQUIREMENTS, ETC., NECESSARY FOR THE ITEMS OF WORK TO BE PROPERLY DEMOLISHED, REMOVED, CHANGED, ADJUSTED, AND PROPERLY INTEGRATED AND COMBINED WITH NEW AND EXISTING WORK SPECIFIED IN THE CONTRACT.
- EXCEPT AS SPECIFIED ABOVE, ALL OTHER DESCRIPTIONS, NOTATIONS, DIRECTIVES, EXPLANATIONS, REQUIREMENTS, ETC., THROUGH OUT THE DRAWINGS AND SPECIFICATIONS, SUCH AS "TILT-UP ROOF SYSTEM", "METAL BASE FLASHING", "TILT-UP ROOF SYSTEM", "NEW METAL BASE FLASHING", SHALL BE UNDERSTOOD AS MEANING ALL REQUIREMENTS OF ALL WORK UNDER THE CONTRACT.
- IN THE EVENT OF CONFLICT BETWEEN APPLICABLE CODES AND REGULATIONS AND THE STANDARDS OF THE CONTRACT DOCUMENTS, THE MORE STRINGENT PROVISIONS SHALL GOVERN.
- ALL NOTES AND DIMENSIONS DESIGNATED AS TYPICAL (TYP) APPLY TO ALL LIKE OR SIMILAR CONDITIONS THROUGHOUT THE DRAWINGS.
- REMOVE AND REINSTALL MISCELLANEOUS ITEMS FOUND ON THE ROOF WHICH WILL STANDARDS OF INTERFERE WITH THE INSTALLATION OF THE NEW ROOF. PROVIDE ALL FLASHINGS, PITCH POCKETS, ETC., REQUIRED FOR A WATERTIGHT ROOF.



6 PLUMBING VENT
3" = 1'-0"

PARTIAL ROOF REPLACEMENT
MAINTENANCE GARAGE
1 DUMP ROAD
ESSEX, CT



ROOF PLAN
&
DETAILS

DATE: JUNE 8, 2015

REVISED:

COM. # 1510

SCALE: AS NOTED

A-4

SHEET